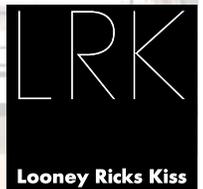


HEATH

Towne Center Zoning

June 2003



Acknowledgments

City of Heath

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Purpose & Background

Towne Center

Located on the east side of Lake Ray Hubbard, the City of Heath is fortunate to have the benefits of proximity to Dallas, while enjoying a small town atmosphere and a strong sense of community. During the City's comprehensive planning processes in 1996 and 2001, citizens expressed a general appreciation for the lifestyle enjoyed by living in Heath. The desire for a community focal point, in the form of a mixed-use Towne Center, was also expressed as a means of giving the community more of a "soul." While the City's 2001 Comprehensive Plan lays out the vision and most basic concepts for such a Towne Center, the purpose of this document is to delineate the Heath Towne Center more specifically, and to specify the land uses and development characteristics recommended for the Towne Center.

Towne Center Goals

The following goals have been established for the Heath Towne Center:

- Provide a rich mixture of institutional, recreational, shopping, dining, office and residential uses.
- Provide a human-scaled environment that accommodates automobiles, and provides an enjoyable and safe pedestrian experience.
- Concentrate many of the community's civic uses.

Document Contents

This document's sections pertaining to the Heath Towne Center address the following key issues:

- Towne Center zoning boundaries,
- Permitted land uses within the Towne Center, and
- Permitted development character, including building setbacks, building heights, building design, parking location and design, and other related issues.

Legal Context

The purpose of this document is to regulate land uses and physical development within the designated Towne Center. With the sole exception of the streetscape recommendations (Appendix), all of the standards herein shall serve as the City's adopted codes within the Towne Center. (The streetscapes page is only a set of recommendations.) All issues addressed in the document, including land uses, building heights, building setbacks, building design, access, parking, landscaping and similar issues, shall supercede all previously existing codes for this area. However, in the case where certain issues are not addressed here, the City's existing relevant codes shall

apply. In the Towne Center, no density/intensity (units per acre/floor area ratio) limits shall apply. Density and intensity will be controlled through building height, setbacks and other dimensional requirements.

Development Approval Process

The flow chart below provides a general overview of the development approval process in Heath.



Existing Conditions

Currently, the area designated to develop as Heath's Towne Center has little resemblance to a conventional town center. In fact, the only surviving elements that fit into the vision of Heath's Towne Center are the handful of early-twentieth century vernacular frame structures that have remained. Below is a summary of the area's existing conditions.

Roads

One of the reasons the designated Towne Center is an appropriate location is due to the various key roads that intersect in this area. Key roads include:

- FM 740 (Laurence Drive) - key NE-SW spine
- Hubbard Drive - SW extension of Laurence Drive
- FM 740 (Bois D' Arc) - key NW-SE spine
- FM 549 (Buffalo Way Road) - NE extension of 740
- FM 550 - NE end of Towne Center
- FM 1040 (Smirl Drive)

The most significant drawback of the current roads is that they are currently, indeed, only roads. They consist of only one driving lane in each direction, with no curbing, sidewalks, or on-street parking. To be appropriate for a Towne Center, these roads must mature into urban streets, to include driving lanes, parking lanes,

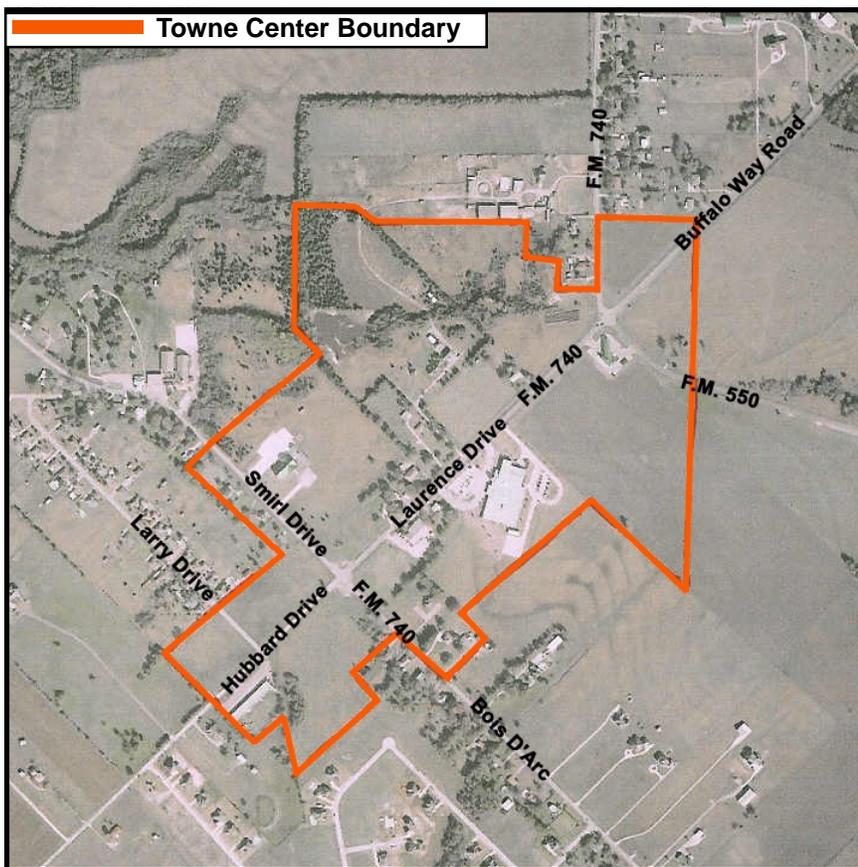
curbs, and an urban streetscape. An urban streetscape should consist of sidewalks, street trees and/or building canopies, and buildings that are in relatively close proximity to the street.

Existing Development

The Towne Center's surviving older structures include a church and several dwellings, most of which have since been converted to commercial uses. These buildings have simple but attractive designs consisting of a single story of frame construction with clapboard siding. More recent buildings include the masonry City Hall and a nearby school. The most recent development includes a service station and an office/retail development that have a relatively suburban character generally inconsistent with the concept of a Towne Center.

Vacant Land

As conveyed in the aerial photograph below, the Towne Center presently features more development opportunities than existing development. Available land ranges from small lots to sizable parcels.



This aerial photograph illustrates the Towne Center's many infill development opportunities.



Remnant of Heath's historic origins.



Today's Towne Center is underdeveloped.



Newer suburban-type development.

Public Input Results

At the outset of this project to create the zoning and design standards for the Heath Towne Center, several public forums were held to solicit stakeholder input. That process included the administration of a Vision Survey, in which 43 members of the public were

Streetscapes



Streetscape images rating the highest featured on-street parking and buildings with varied facades located close to the street.

Commercial / Mixed Use Buildings



Images containing one and two-story buildings were most preferred, as were this building's colorful awnings.

Townhouses



The highest rated townhouse images featured frame buildings with varied roof lines and facades, balconies and porches.

surveyed regarding their preferences related to the Towne Center. Using a visually-based survey featuring 96 images, participants were surveyed on the following design-related issues: streetscapes, buildings, public spaces, parking and signs. Below are the highest rated images in the key categories.



Heath's surveyed citizens appreciated the outdoor dining and quaint character of this streetscape's buildings.



Wood, brick and stone were all appreciated building materials, as were this building's doors, windows and slate roof.



Other popular townhouse images included raised foundations, vertically-oriented windows, and dormer windows.

Public Input Results

Public Spaces



“Greenscape” images were generally more popular than “hard-scape” images within the Public Spaces survey category.



Public space images featuring formal focal points, such as gazebos and fountains, received the highest survey ratings.

Parking

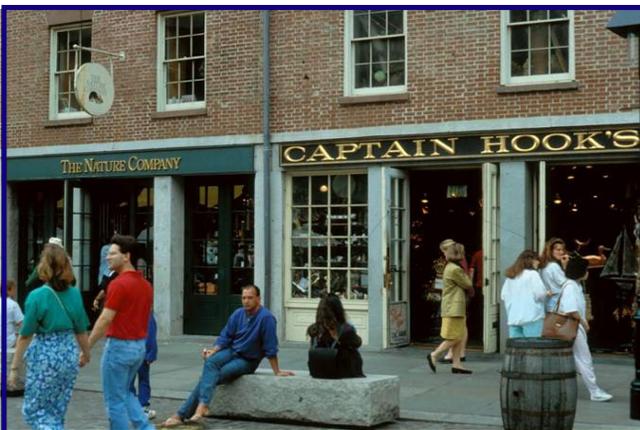


When viewing images of parallel, angled and “head-in” (90 degree) on-street parking, most citizens preferred angled parking.



This image rated highest for the off-street parking category. Respondents liked the landscape screening along its street frontage.

Signs



Survey respondents liked the facade-mounted signage in this image because of its size, design and placement on the facade.



Projecting signs such as this were deemed desirable for the Heath Towne Center based on its craftsmanship and appropriate size.

Towne Center Boundaries & Towne Center “Core”

Criteria to Determine Boundaries

In determining the boundaries for the Heath Towne Center, the following general guidelines were used:

- The Towne Center should be physically contiguous.
- The Towne Center should be located at the confluence of multiple significant streets.

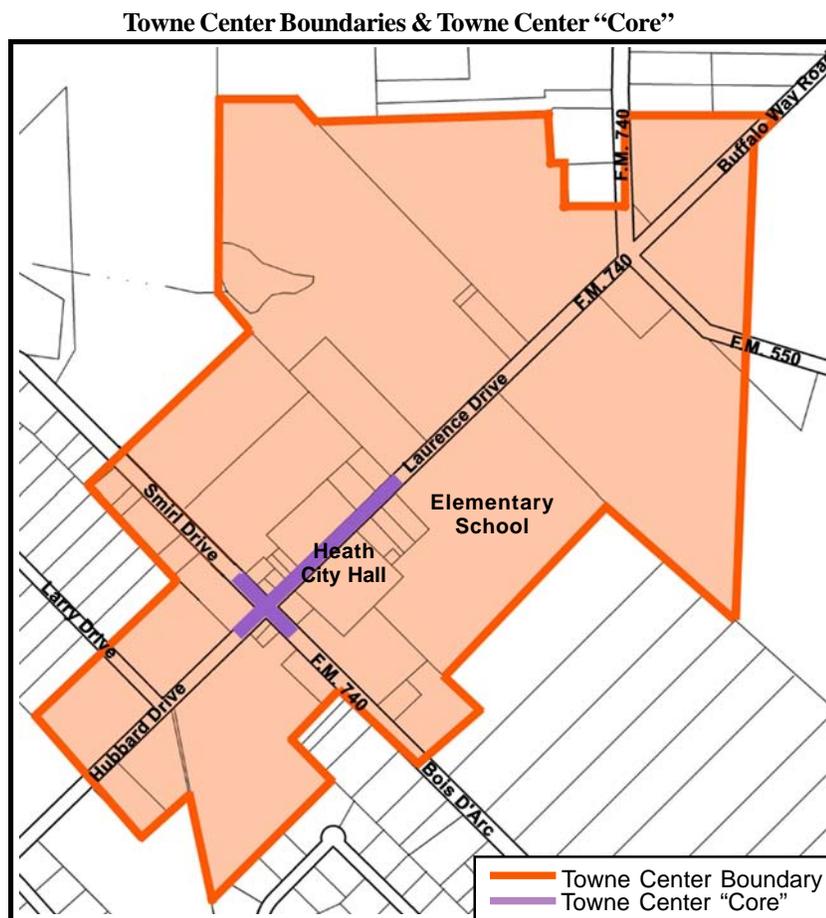
General Description of Boundaries

The map below illustrates the Heath Towne Center boundaries based upon the application of the criteria summarized above. The main axis of the Towne Center is the portion of Laurence Drive (FM 740), that has a northeast-southwest alignment. This road will function essentially as the Heath Towne Center’s “Main Street.” The most central landmarks to the Towne Center are the Heath City Hall and the adjacent school. While the actual boundaries of the Towne Center are difficult to describe, they are primarily bound by adjacent established development patterns (neighborhoods, etc.), as well as parcel lines.

- The Towne Center should be located where one or more civic uses exist or are planned.
- The Towne Center should include a limited land area in order to concentrate activities and economic energy.
- The Towne Center should not disrupt well-defined and desirable existing land use patterns.

Towne Center “Core”

The map below highlights the street segments within the Heath Towne Center that are designated as the Towne Center “Core”. This area includes the Towne Center’s primary street intersection, as well as the segment of Laurence Drive that extends northeast from the intersection. The elementary school anchors this segment of Laurence Drive at the northeast end. The intent of the “core” is to create a vibrant “center within the center” in which all ground floor uses are active commercial type uses, and there are no driveways or significant gaps between buildings to disrupt an urban streetscape. Certain land use, access, and building setback standards found elsewhere within this document will refer to the “core”.



Permitted Land Uses

By definition, the Heath Towne Center should provide the greatest diversity of land uses of any other zoning district within the city. Town centers should be interesting, vibrant, active places with a rich mixture of opportunities for living, working, shopping, dining and similar activities. Below is a list of permitted uses by general land use category. Unless otherwise restricted herein, multiple uses may occur within the same building. Existing uses that are legal at the time of this zoning code’s adoption shall be allowed to continue in accordance with the City’s “existing non-conforming uses” provisions.

Commercial Uses

- Retail
- Restaurants /pubs
- Bakeries
- Hotels
- Offices
- Medical uses
- Financial institutions
- Business services (photocopying, etc.)
- Personal services (hair salons, etc.)
- Day care
- Art Studios/Galleries

None of the uses listed above may exceed 35,000 sq. ft. of gross floor area for a single tenant/ business.

Residential Uses

- Townhouses
 - Apartments (permitted “as of right” only for upper floors)
 - Attached dwellings of 2 units or more
- Residential uses may not occur on the ground floor of any property having frontage along the Towne Center “Core”. (See pg. 5)*

Public / Institutional Uses

- Governmental uses
- Schools
- Places of worship
- Museums

Conditional Uses

- Specialty auto sales
- Ground floor apartments

Specifically Prohibited Uses

Those uses not listed among the specifically permitted uses on this page are not permitted within the Heath Towne Center. However, uses specifically prohibited include the following:

- Industrial uses
- Manufacturing
- Gasoline / service stations
- Automobile sales or repair
- Junk yards
- Single-family dwellings



The Framework: Blocks, Lots & Streets

All future development within the Heath Towne Center shall fit within the general concept of blocks, lots and streets. This system comprises the most fundamental “building blocks” of a traditional town center, as follows:

Blocks

Blocks are comprised of one or more lots. Blocks are bounded by peripheral streets and follow these standards:

Shape - Blocks are typically rectangular or square in shape in order to yield efficiently shaped lots. However, other shapes, such as triangles, are occasionally acceptable.

Size - In order to maximize vehicular and pedestrian access, and to reinforce a human scale, no block may exceed 600 ft. in length along any axis.

Lots

Lots are land areas for development that are bounded by at least one street and, generally, bound by a rear

alley and/or adjacent lots. Lots shall follow these standards:

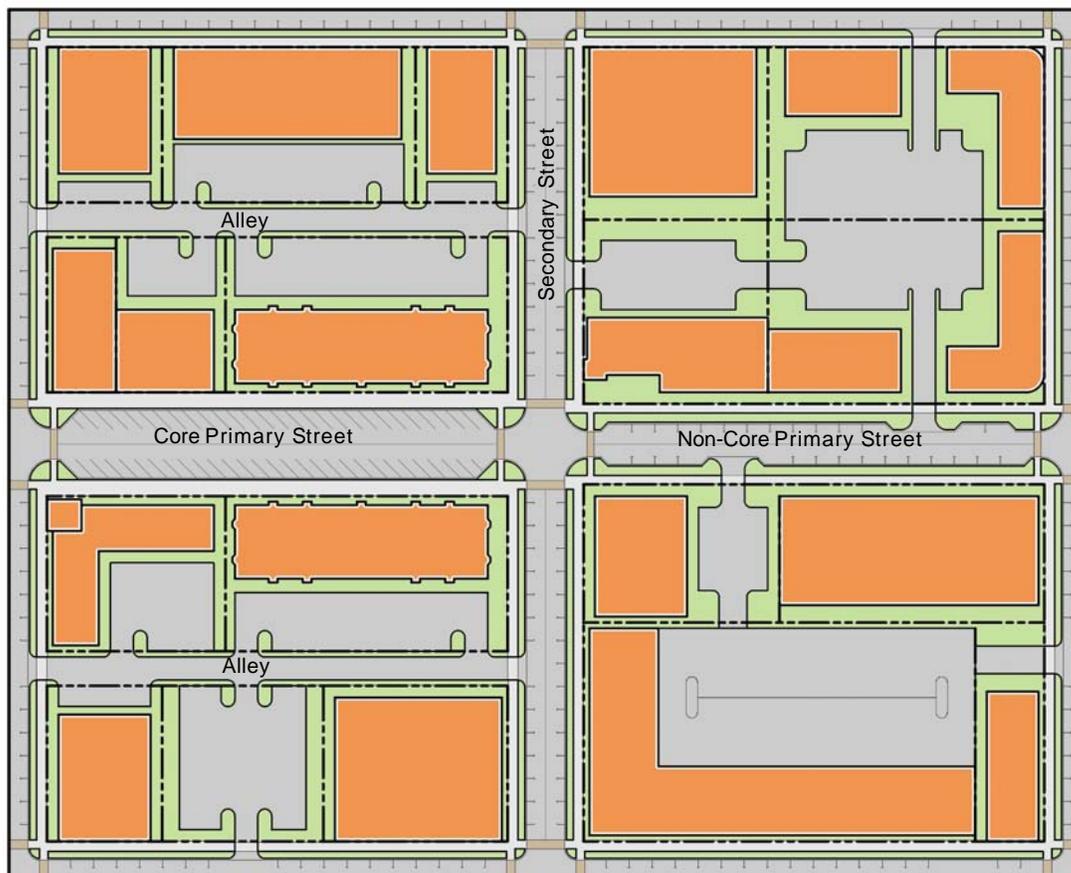
Shape - Lots are usually rectangular in shape, although variations are sometimes acceptable.

Size - No lot may be less than 20 ft. wide or 80 ft. deep. There are no maximum lot size standards.

Streets

Street design requirements for the Towne Center shall be determined by the street classification. “Primary” streets include FM 740 (Laurence Drive), Hubbard Drive, FM 1140 (Smirl Road), FM 740 (Bois D’ Arc), FM 549 (Buffalo Way Road), and FM 550. Any existing or future street not designated as a primary street shall be a secondary street.

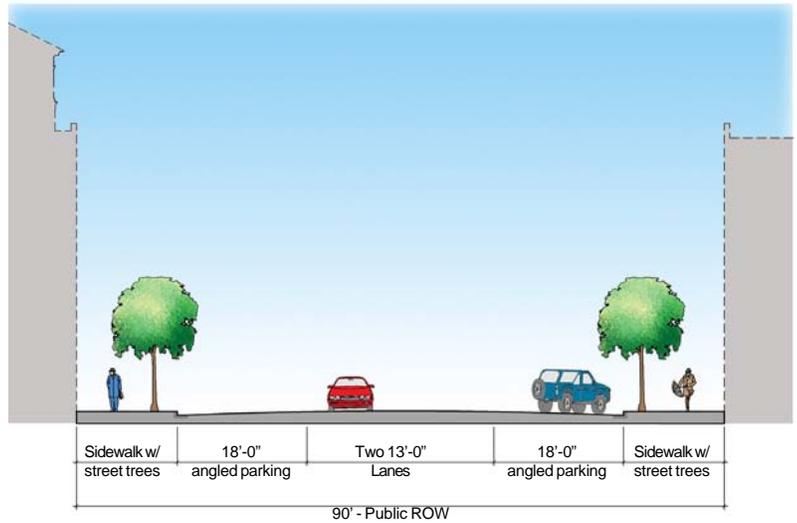
Alleys located central to the block are optional. If provided, alleys must consist of a 20 ft. paved width.



Street Standards

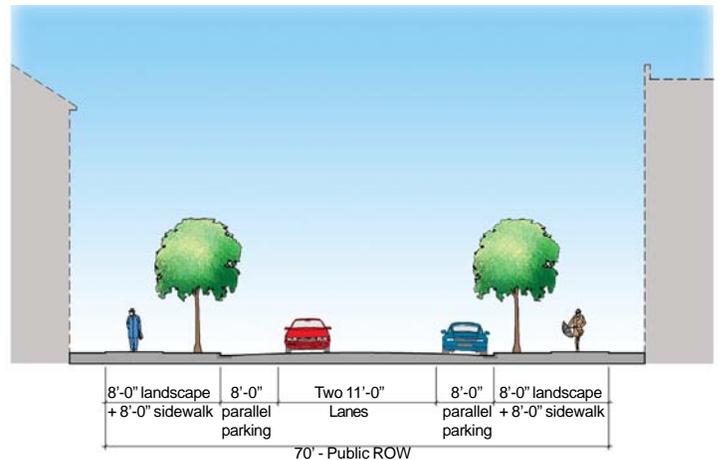
Primary Street Core

- Right of Way (ROW) - 90 ft. width*
- Curb-to-Curb - 62 ft. width*
- Driving Lanes - 13 ft. width*
- 45 Degree Parking Lanes - 18 ft. depth*
(perpendicular to curb)
- Sidewalks - 16 ft. width*
- Street trees with flush tree grates*



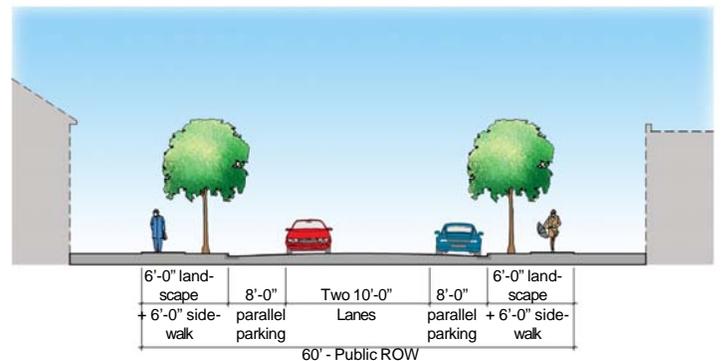
Primary Street

- Right of Way (ROW) - 70 ft. width*
- Curb-to-Curb - 38 ft. width*
- Driving Lanes - 11 ft. width*
- Parallel Degree Parking Lanes - 8 ft. width*
- Sidewalks - 8 ft. width*
- Planting Strip with street trees - 8 ft. width*



Secondary Street

- Right of Way (ROW) - 60 ft. width*
- Curb-to-Curb - 36 ft. width*
- Driving Lanes - 10 ft. width*
- Parallel Parking Lanes - 8 ft. width*
- Sidewalks - 6 ft. width*
- Planting Strip with street trees - 6 ft. width*



Buildings: Location & Scale

Building Location

Front Setback

Primary Streets - "Core": Facades shall be 0 ft. to 5 ft. from the lot's frontage line (front lot line/street R.O.W.). Corner buildings are considered as having two frontages.

Primary Streets & Secondary Streets: Facades shall be 5 ft. to 15 ft. from the lot's frontage line (front lot line/street R.O.W.). Corner buildings are considered as having two frontages.

Front Setback Exceptions

Setback Intrusions: Stoops, balconies, porches, canopies, awnings, and bay windows may encroach within front setbacks, but not within the public right-of-way between grade and a 10 ft. clearance height. Right-of-way intrusions meeting the height clearance requirements shall not extend within 2 ft. of the street curb.

Courtyards: Central courtyard recesses are permitted for housing.

Dining: Front setbacks up to 25 ft. are permitted to accommodate outdoor dining if a design treatment is applied along the lot's frontage line (edge of sidewalk furthest from street). Examples of acceptable design treatments include a wall, fence and/or hedges no greater than 3.5 ft. in height.

Side Setbacks

Primary Street Core: Buildings shall be 0 ft. to 5 ft. off the side property line.

Primary Streets & Secondary Streets: Buildings shall be 5 ft. to 15 ft. off the side property line. The only exception is for access drives and/or parking to the side of a building to consist of no more than 70 ft. of width between adjacent buildings.

Rear Setbacks

All buildings shall be set back at least 3 ft. from the rear property line.

Outbuildings

Ancillary buildings that are secondary to a lot's primary building, such as garages and storage buildings, shall be located to the rear of a lot's primary building.

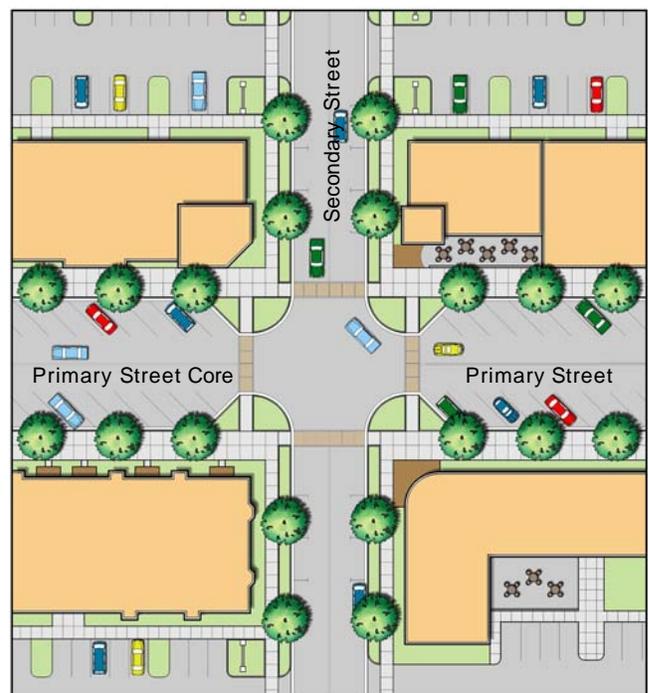
Building Scale

Building Heights

Primary Buildings: No building height may exceed 3.5 stories or 40 ft. One-story building shall be a minimum of 18 ft. in height. Building heights shall be measured from the average grade level at the front facade to the eave or to the top of the parapet.

Exceptions: An exception is allowed for vertical architectural elements, such as towers, belvederes and similar elements. Such elements may be up to 50 ft. in height if they have a footprint no greater than 240 sq. ft. This exception may extend to a maximum of 60 ft. in height for institutional and religious buildings.

Outbuildings: Shall not exceed a height of 2 stories or 22 ft. measured at the eave or parapet.



Representative Building Locations

Cultural/Institutional Buildings

Cultural and institutional uses, such as churches, schools, governmental buildings, libraries, museums and parks, may deviate from the Towne Center standards in order to make them more prominent and as a means of emphasizing their significance to the community. The following standards shall apply:

Building Locations

Cultural and institutional buildings shall be allowed to have more generous front and side setbacks than those of commercial buildings in order to emphasize their significance. There shall be no setback standards. Also, locations at special sites such as corners or sites terminating a street axis shall be sought for cultural and institutional buildings.



Architectural Character

Cultural and institutional buildings shall have a civic character, which might include classical architectural design elements (symmetry, pediments, columns, etc.). Main entrances shall be clearly articulated. Roof forms might also include cupolas, steeples, and similar vertical architectural elements intended to give the building prominence. Such vertical elements may extend up to 20 ft. above the maximum building heights otherwise permitted.



Parking

Off-street parking shall not be permitted between the building and its primary street frontage. Parking shall be located and designed so as to be minimal in appearance when viewed from the public right-of-way. (See page 12 for specific parking standards.)



Buildings: Design & Materials

Roofs

Roof Types - A variety of roof types are permitted, including flat roofs, pitched roofs and mansard roofs.

Flat Roofs - Flat roofs are permitted for all buildings types, but must have a parapet wall on the building's front and sides.

Roof Penetrations - Penetrations, such as plumbing stacks and vents, shall be on the rear roof slope if the roof is oriented to the street in that manner. Chimneys are excluded from this requirement.

Facade Design

Elevations - Buildings with ground floor commercial uses shall be at sidewalk grade, while groundfloor residential uses shall be at least 1.5 ft. above grade.

Ground Floor Heights - For multi-story non-residential ground floor uses, the ground floor must be at least 14 ft. in height measured from floor to floor. For residential ground floor uses, the ground floor must be at least 10 ft. in height measured floor to ceiling.

Vertical Bays - Facades shall be broken into vertical bays not exceeding 30 ft. in width through the use of one or more of the following approaches: facade recesses, facade projections and/or pilasters. Canopies and roof line or parapet changes can supplement those approaches to further define the vertical bays.

Entrances - Each building (including each groundfloor Townhouse unit) shall have at least one primary entrance having direct access to the applicable street. In the case of corner buildings, the primary entrance shall be on the primary street.

Storefronts - Where groundfloor uses are commercial, the groundfloor facade shall have continuous storefront windows along the street frontage. Commercial groundfloors shall have a minimum of 60% glazed surface (measured between grade and the interior ceiling level). Corner buildings shall only have to comply on one of two frontages.

Large Spaces - On "Primary Commercial" street frontages, a front entrance shall be provided for every 100 ft. of facade frontage for each building. An alternative to an individual user having multiple front entrances is the use of separate liner space on the frontage for separate users. Such liner space must have a front entrance.

Opening Locations - Openings (doors & windows) in upper floors shall be vertically aligned with groundfloor openings. Upper floor gable end openings must be centered within the gable. All openings shall be a minimum of 2 ft. from building corners.

Shutters - When used, shutters shall be sized and shaped to match the window opening.

Materials & Other Features

Building Walls - Shall be finished in brick, stone, wood shingles, wood clapboard, drop siding, wood board & batten, or smooth stucco. Cementitious materials accurately duplicating wood are also permitted. Non-masonry materials shall be painted, while brick and stone may be painted or unpainted.

Chimneys - Shall be masonry.

Window & Door Glass - Window and door glass shall be clear and not reflective or noticeably tinted.

Canopies & Awnings - Canopies shall be constructed of wood, metal, or metal and glass in a design compatible with the building architecture. Awnings shall be made of natural or synthetic canvas or opaque reinforced vinyl on a galvanized steel pipe or tubular aluminum frame. Translucent vinyl and rigid plastic are not permitted.

Security Features - External security features, such as door and window grilles, are prohibited.



This newly-constructed commercial building is consistent with the design and material standards adopted for the Heath Towne Center, including the use of pilasters and awnings to create a series of vertical bays within the facade. Other consistent design features include a flat roof, parapet facade, groundfloor storefronts, an entrance on the primary street, vertically aligned upper and groundfloor windows, and brick construction.

Site Design

Access

Access to Parking - No driveways are permitted on the Towne Center's Primary Commercial street segments. Only access from other streets or alleys is allowed here. Where driveways are permitted, driveways must be at least 200 ft. from other driveways on the same block face, and at least 150 ft. from any intersection.

Driveway Widths - Where driveways are permitted, driveways shall not exceed a width of 24 ft.

Parking

Within the Towne Center, there are no minimum parking requirements with the exception of residential uses, which shall meet the City's existing parking requirements. However, the City's minimum requirements as applied elsewhere in the City may not be exceeded within the Towne Center (the minimum required spaces shall become the maximum number permitted).

Parking Locations - In the Towne Center "core", off-street parking shall be located behind buildings and not located between a building and its associated street(s) or beside buildings. Elsewhere in the Towne Center, parking may not be located between a building and its associated street. It may be located beside buildings, but no more than 70 ft. of void may exist between two adjacent buildings.

Parking Screening - The portion of all parking lots fronting a street shall be screened with a wooden fence, masonry wall and/or evergreen hedges in accordance with the following standards:

Fences - Permitted fence types may be either horizontal board fences or vertical picket fences, and shall be between 32 and 42 inches in height along front lot lines.

Walls - Walls shall be constructed of either brick or stone, although other masonry materials, such as concrete, may be used if covered in stucco. All walls shall have a distinct capping constructed of brick, stone or concrete, and shall be between 32 and 42 inches in height along front lot lines.

Hedges - Hedges shall be evergreen and planted so as to create a solid year-round visual screen. At maturity the hedge shall be maintained at a height between 32 and 42 inches along front lot lines.

Metal fences may also be used if physically integrated with hedges, but not as an alternative. Metal fences shall be black and use historic precedents for design.

Other Site Features

Building Voids - Where voids exist between buildings along the designated primary streets within the Heath Towne Center, fences, walls and/or hedges (which can include metal fences) shall be provided along the lot's frontage line in accordance with the design requirements described above for parking screening. This requirement is limited to developed sites only.

Rear Walls & Fences - Walls and fences that do not extend beyond the front facade of the associated building may be as high as 6 ft., but only if used for side and rear yards. Although a fair degree of flexibility may be used in the design and materials of rear walls and fences, chain link fences are not permitted anywhere within the Heath Towne Center.

Flagpoles - If attached to a building, flagpoles must be no more than 6 ft. long and wall-mounted at a 45 degree angle. If freestanding, flagpoles shall not exceed 20 ft. in height. No single property may have more than two (2) flagpoles.

Lighting - Lighting may not produce glare on adjacent properties. Freestanding lighting fixtures, such as those located in parking lots, shall not exceed 16 ft. in height.

Loading & Dumpsters - Loading areas and dumpsters shall not be visible from any adjacent streets. Loading areas shall be screened from streets by either their location or screening treatments. Dumpsters shall be located to the rear of their associated buildings, and shall be enclosed on all sides by a screening enclosure the full height of the dumpster.



Concrete and iron railing with plantings to screen parking



Wooden fencing used to screen a loading zone

Signs

The process for sign approvals within the Towne Center, including variances, shall be consistent with the City-wide process for signs.

Signable Area

An area on the facade of a building below the roof line which is free of windows, doors or major architectural details and not higher than the lowest of the following: 25 feet above the adjoining sidewalks, the bottom window sills of the second story or the highest part of the building between the head of the top story window and the underside of the roof.

Wall Signs: Signs mounted directly on a building wall. May not project from the wall more than 8 inches and shall cover no more than 40% of the signable area. Signs shall not obscure architectural features or detail.

Applied Letter Signs: Individual letters applied directly to building facade that shall not cover more than 40% of the signable area.

Restaurant Menu Signs: A small menu often placed in a glass front box and externally illuminated. Placed at restaurant's primary entrance and shall not exceed 6 square feet.

Projecting Signs: Sign extends from facade (perpendicular) and shall not extend above the roof eaves or parapet wall. Maximum area: 30 square feet; minimum height: 7 feet above grade. Sign shall not project more than 5 feet from facade.

Window Sign: Sign painted (not applied) on a window and shall not cover more than 25% of the window.

Awning Signs: Sign with letters/logo painted, silk screened or stitched directly on the vertical face of an awning. The sign shall not cover more than 35% of the awning.

Ground Mounted Signs: Sign extends directly from the ground and is permitted only for buildings having a front setback of at least 20 feet. Signs must have a minimum setback of 5 feet, maximum area of 35 square feet per side and a maximum height of 6 feet.

Facade-Painted Signs: Sign painted directly on the building facade that covers no more than 40% of the signable area.

Sign Design & Placement

- Wood, glass, metal - or an appropriate synthetic material that approximates the appearance of wood, glass or metal - are the only permitted materials.
- The material's ability to maintain an acceptable appearance over time shall be a consideration in determining the appropriateness of synthetic materials.
- Signs shall not obscure key architectural features.
- Signs shall be limited to on-premise signs related to the use or business conducted on the same site.
- Marquee type signs for announcements of activities taking place at the location are prohibited (exceptions: theatres, churches, schools, and institutional uses).
- No billboards/off-premise signs shall be permitted.
- Multiple uses on a single property may share signs, but collectively shall not exceed the sizes specified herein.
- Signs for multiple businesses on a single property shall be of similar material and design.
- Abandoned signs and sign posts shall be removed.
- Temporary signs shall not exceed 9 sq. ft.
- Advertising signs shall not be permitted in windows with the exception of those not exceeding 60 square inches, of which a maximum of five are permitted.

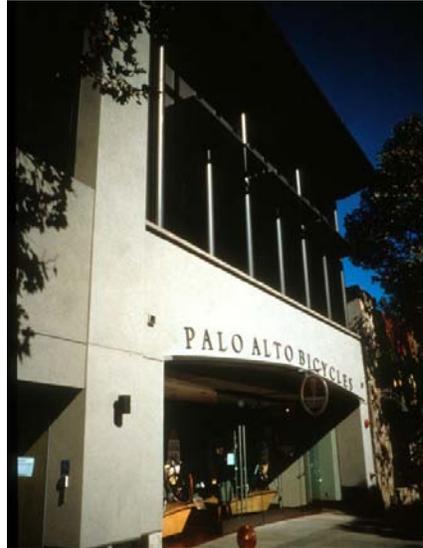
Sign Illumination

- Signs shall be illuminated externally using spotlighting.
- Spotlighting shall completely shield all light sources; light should be contained primarily within the sign frame.
- Neon signs with color are permitted (no white neon lighting), but flashing signs are not.

Signs



Wall Signs



Applied Letter Signs



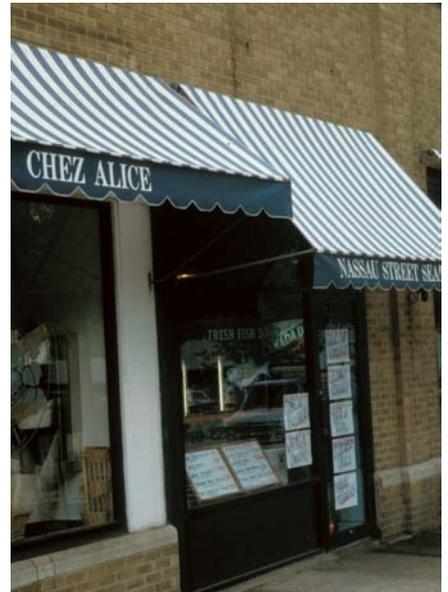
Restaurant Menu Signs



Projecting Signs



Window Signs



Awning Signs



Ground Mounted Signs



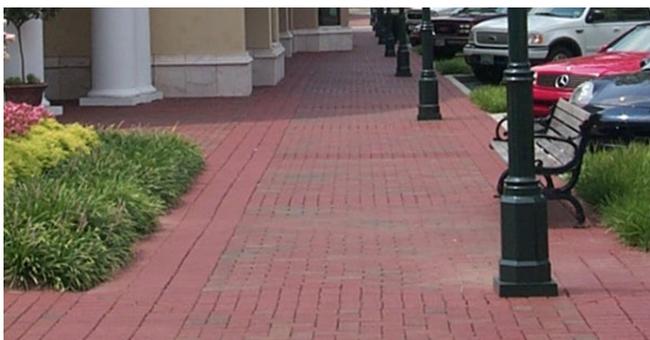
Facade-Painted Signs

Appendix: Streetscape Standards

The term “streetscape” applies to that area between the buildings on either side of an urban street. Streetscape components include driving lanes, parking lanes, sidewalks, landscaping, lighting, streetscape furniture (benches, trash receptacles, etc.), building facades, and similar elements. Requirements for driving lanes, parking lanes and building facades are addressed elsewhere within this document. The other issues are addressed below:

Sidewalks

Recommended sidewalk widths are found on page 8 based upon the street type. Sidewalk materials and design will depend upon the City’s available budget. The image of brick sidewalks, below, rated by far the highest within the Vision Survey. However, concrete sidewalks with decorative scoring is a reasonable and cost-effective alternative.



Landscaping

It is recommended that the landscaping for Heath’s Towne Center be simple but substantial. Canopy shade trees, rather than conifers or ornamentals, should line the outside (street side) of sidewalks, with a maximum spacing of 40 ft. between trees. Either metal grates or planting beds are recommended for trunk bases. It is recommended that shrubs be avoided, with the exception of screening undesirable views, such as parking and loading areas.



Lighting

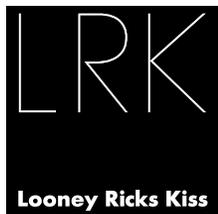
Street lights are important both for functional and decorative purposes. In order to provide a human scale to the Heath Towne Center, it is recommended that lights range between 10 ft. and 14 ft. in height. A variety of light styles might be considered. The ornate light shown below at left rated the highest in the Vision Survey. However, because there is no historic precedent in Heath for “high style” architecture that would typically be associated with such street lighting, it is recommended that the more simplistic style shown below at right be used for the Heath Towne Center.



Streetscape Furniture

The trash receptacle and bench shown below rated the highest in their respective categories within the Vision Survey. The receptacle is cast metal painted black, while the bench has an ornate cast iron frame painted black with wooden slats. Both have a restrained Victorian character.





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