

City of Heath, Texas
Lake Edge Zoning District Ordinance
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Executive Summary

The Heath Lake Edge Zoning District ordinance focuses on regulations and uses allowed on property owned by the City of Dallas – Lake Ray Hubbard and the lake's Take Area - and potentially leased to adjacent lakeside residents of Heath, Texas. The ordinance is the result of several months of work by concerned citizens of Heath, Heath city staff, and planners with HNTB Corporation's urban design and planning office in Dallas. HNTB planners developed the original lake edge zoning district ordinance for the City of Rowlett and are currently completing a similar ordinance for the City of Garland.

The property owned by the City of Dallas includes Lake Ray Hubbard, a water supply reservoir, and land area surrounding the lake known as the Take Area. Both Lake Ray Hubbard and the Take Area are managed by Dallas Water Utilities, a not-for-profit department of the City of Dallas governed by the Dallas City Council. The Interlocal Agreement and Lease signed by the four lakeside communities of Garland, Heath, Rockwall, and Rowlett with the City of Dallas allowed these communities to begin work on developing the necessary documents and guidelines to lease City of Dallas lake edge property to adjacent lakeside residents.

Starting with a kick-off meeting on Tuesday evening, July 12, 2005, Heath city staff and HNTB planners have met with the Heath Lake Edge Steering Committee, a group of seven residents of Heath formed to oversee development of Heath's ordinance. Besides the kick-off meeting, the steering committee met six times to review and discuss the ordinance's development. The dates for the six meetings were as follows:

- Tuesday evening, July 26th
- Thursday morning, August 25th
- Tuesday evening, September 13th
- Tuesday evening, October 11th
- Tuesday evening, November 8th
- Tuesday evening, April 11th

All seven meetings took place at Heath City Hall.

The City of Heath Lake Edge Zoning District Ordinance consists of two sections. Section 1 is the Lake Edge Zoning District Ordinance general information, which includes the following:

- Definitions (pages 1 through 4)
- Summary Use Chart (page 5)
- District Map (pages 6 through 10)

Section 2 is the Single Family – Parcel (SF-P) that spells out the provisions of the ordinance. In Section 2 there are three sub-sections that include the following:

- Visual Measurements and Overall Regulations (general provisions) (pages SF-P 1 through SF-P 6)
- Take Area Boat-Related Uses (detailed provisions for lakeside or boat-related uses) (pages SF-P 7 through SF-P 26)
- Take Area Site-Related Uses (detailed provisions for uses on Take Area land) (pages SF-P 27 through SF-P 41)

With most lake edge steering committee meetings, a majority of the discussions were focused on four important issues for Heath:

1. Boat-related facilities – design
2. Materials for pilings
3. Easements
4. Shoreline lot size

These four main issues are further defined below. In addition, other issues that were discussed, but that did not garner the same amount of time, are noted.

Boat related facilities - design

The design of the boat related facilities was an important issue starting from the kick-off meeting and carrying through the following steering committee meetings. Committee members wanted a departure from the consistent boat-related designs considered for other lakeside communities. The instruction from committee members for boat-related designs to planners was ‘the highest quality that can reasonably be asked.’ Most notably, committee members wanted some other attempt architecturally for boathouses and lakeside gazebos that would be associated with the primary residential styles.

Roof styles were expanded, allowing for the following:

1. Hipped roofs
2. Gable roofs
3. Hipped or gable with clerestory roof

The roof styles would allow for following types of roofing finish:

1. Clay tiles
2. Standing metal seemed (architectural quality)
3. Slate shingles
4. Concrete shingles
5. Ceramic shingles

The colors of roof shingles or roof systems should match or be closely relate to the primary residential building and its roof color. The steering committee discussed a process for reviewing the boat-related designs, deciding on an architectural review committee that would be set up outside the zoning ordinance.

Materials for pilings

The City of Dallas has established guidelines for materials used in building boat-related facilities that can be referred to in the Materials Specifications of the City of Dallas' Construction Permit Application Lake Structures Lake Ray Hubbard. Because of the concern for maintaining the quality of development and for enhancing lake edge aesthetics, the lake edge steering committee encouraged planners to develop a heightened quality focused on boathouse pilings.

It was decided that boathouse and lakeside gazebo pilings shall be as follows:

1. Completely rapped, creating columns designed from masonry to match the architectural style of the primary residential structure
2. Natural masonry products such as cut limestone, rough limestone, brick, or river rock were acceptable

3. Masonry columns shall be built up to the boathouse or lakeside gazebo roof's overhang / eaves
4. Masonry colors for the columns shall match an exterior color of the primary residential structure
5. Masonry shall begin two feet eight inches above the normal pool elevation of 435.5 feet mean sea level
6. A concrete base, having a continuous plane with the masonry rapping above, shall be constructed above 438.2 feet mean sea level.

Remaining boat-related facilities – dock deck and fixed pier – should have pilings built using metal.

Easements

After reviewing and discussing the issues and challenges faced in Rowlett concerning the requirements easements in the Take Area, the Heath Lake Edge Steering Committee decided that a blanket access easement shall be required in the zoning ordinance and that uses shall not be located over existing utility easements.

Shoreline lot size

Early in the two meetings it was discussed and resolved that the parcel's shoreline lot size should be narrowed slightly with regards to the placement of boathouses. As a result, parcels with one-hundred fifty linear feet or greater of the normal pool elevation shoreline (435.5 feet mean sea level) leased property would be allowed one boathouse, while parcels with seventy-five linear feet or greater but less than one-hundred fifty linear feet of the normal pool elevation shoreline (435.5 feet mean sea level) leased property would be allowed one boathouse placed sixteen (16) feet from the lease survey line extension separating leased properties on the grouped lease survey line, in which an adjoining similar sized leased Take Area parcel is allowed to locate a boat-related structure. These spacing requirements were developed to maintain the aesthetic qualities along the lake's shoreline.

Other

Remaining issues were also brought to the table for discussion, but their overall implications were not as far-reaching at those noted above. These issues and their final outcome are listed below:

1. Private play structures were removed for consideration as a use
2. Optional roof tops for picnic tables were removed
3. Barbecue pits would require a Conditional Use Permit
4. Lakeside gazebos and landside gazebos roof design will allow for the same variety of roof styles, materials, and colors as those allowed for boathouses, and the roof height will be up to 21 feet maximum.
5. A boat-related facility will not contain both a boathouse and a lakeside gazebo within the same grouping.

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Definitions for Heath's Lake Edge Zoning District Ordinance

Access – An opening and passage that makes it possible to reach a desired location used only by utility personnel and vehicles and public sector personnel and vehicles to construct, maintain, service, cleanup, and inspect as well as respond to emergencies in the Take Area and along the Lake shoreline...

All local utilities - All local utilities represent cable lines, pipelines, and wiring already existing and planned running through the Take Area used by both the local community and the region's communities to facilitate the distribution and collection of communications, water, electricity, natural gas, and waste byproducts.

Barbecue pit - A barbecue pit is a permanent fireplace structure over which meat and other foods are roasted.

Bench – A long seat for two or more people securely attached to the catwalk of a dock.

Boathouse – A boathouse is a roofed structure with supporting fixed piers with a main waterside opening with an operating boatlift contained within the structure which shall be built to house and protect watercraft and boat related equipment. The boathouse structure shall be built at the end or towards the end of an adjoining a dock or fixed pier.

Boat-related equipment – Boat-related equipment includes those items necessary for the safe operation of a boat that includes cordage, rope, and docklines; personal floatation devices; sound signaling devices; visual distress signals; fire extinguishers; and oars and paddles; and items associated with water-related recreational activities that are limited to water ski gear and fishing gear.

Catwalk – The narrow walkway of a dock providing people access to moored watercraft.

Centerline – An established line that is equidistant from the surface or sides of something, such as parcel boundaries.

Cleat – A metal fitting with two projecting horns used to wrap a rope around to secure a watercraft in position.

Commercial Activity – A form of recurring business activity – such as trade, services, manufacturing, distribution, goods enhancement – that takes place to facilitate market needs.

Commercial Area – Zoned or permitted property where retail, office, entertainment, and/or mixed uses either exist or are allowed to be developed.

Co-op – Single family parcels that back up to the Take Line with less than seventy-five (75) linear feet of the normal pool elevation (435.5 feet mean sea level) leased shoreline that can form a cooperative with neighboring property owners of similar sized leased properties to develop boat-related uses in the Take Area.

Cove parcels – Single family parcels that back up to the Take Line that surround a Lake inlet having less than one hundred sixty (<160) feet straight across the body of water from one shoreline to the opposite shoreline during normal pool elevation (435.5 feet mean sea level), thereby limiting the safe maneuvering of watercraft unless development of boat-related facilities is restricted to only one of the shorelines.

Deck/patio - A deck/patio is an anchored or concrete paved flat floored roofless surface built either beside the normal pool elevation shoreline or incorporated into a promontory in the Take Area.

Dock – A general term used to describe a lake structure used expressly for mooring and landing watercrafts and for embarking and disembarking passengers. In the City of Heath, this structure is referred to as a fixed pier.

Dock Deck – A dock deck is a flat floor surface area with supporting fixed pilings built over the Lake water adjoining the end of a fixed pier. In terms of measurements the dock deck shall follow the same requirements associated with the catwalk.

Dock ladder – Boarding stepladder on a dock used to safely enter and exit a watercraft.

Dredging – The process of deepening a waterway for the safe and efficient movement of watercraft by the removal of dirt either by digging or by suction.

Easement – A blanket access easement for all leased properties in the Take Area allowed only to the following:

- To City of Heath and City of Dallas personnel and their vehicles for periodic inspection of the Take Area and improvements
- To emergency personnel and their vehicles
- To utility service and maintenance personnel and their vehicles.

Fences – Fences are prohibited, except for a fence (barrier) separating private leased areas within the Take Area from public property (park lands, roads, alleys) while providing an access way for public safety, public services and maintenance, public inspection, and utility personnel and vehicles through the Take Area. The exception, which shall be constructed of ornamental or wrought iron and subject to the requirements of the fence ordinance, shall require a Conditional Use Permit.

Fixed pier – A fixed pier is a structure with supporting fixed pilings with a catwalk on top that extends from the shoreline out into the body of water with the structure being used to moor and land watercraft.

Flagpole - An upright (90 degree angle to the ground or dock) pole on which to raise a flag.

Grouped boathouses – Two boathouses, each representing a neighboring parcel, grouped on either side of the grouped side yard lease survey line extension as a result of each parcel having seventy-five (≥ 75) linear feet or greater but less than one-hundred fifty (< 150) linear feet of the normal pool elevation shoreline (435.5 feet mean sea level) leased property

Habitable structure – A structure fit for human habitation usually containing amenities such as, but not limited to, a fireplace, furniture, plumbing, bathing facilities, and cooking facilities; a boathouse, landside gazebo, lakeside gazebo, and covered picnic table are not habitable structures.

Hipped roof – A roof having sloping ends and sloping sides.

Lake – Refers to Lake Ray Hubbard.

Lake Area – The City of Dallas property, know as Lake Ray Hubbard, that is normally submerged by the Lake at normal Lake pool elevation (property at or below elevation 435.5 feet mean sea level).

Lakeside Gazebo- A lakeside gazebo is a roofed trellis structure opened on all sides with places for sitting built with supporting fixed piers.

Landscaping – Landscaping is the minor modification or altering of the surrounding Take Area terrain with trees, shrubs, ground cover, and native stone or interlocking brick retaining walls.

Landside Gazebo – A landside gazebo is a ground built permanent stand-alone roofed trellis structure opened on all sides with places for sitting.

Leased Area – Means the Take Area that is within the City Limits of Heath, or where the Take Line is directly adjacent to the City Limits of Heath.

Linear feet – A type of measurement in which dimensions of a specific item are taken together from one noted point to another noted point in a straight line rather than following the curvature of the specific item's boundary.

Lift – A temporary means of elevating a watercraft out of the water by use of a hoist.

Lockerbox – A secured chest fixed onto a dock used for storage of watercraft equipment.

Moor – Securing a watercraft to a fixed object such as a fixed pier while the watercraft is still in the water.

Mooring – A place where a watercraft while in the water can be tied and be secured to a structure such as a slip or pier.

Multi-family – A building or complex of buildings containing more than two housing units that are managed and that can be rented on a timely basis (apartments) or separately owned and either occupied by the owner or leased on a timely basis (condominiums).

Outdoor lighting – Outdoor lighting is a structure or a system of structures, fixtures, and devices used to provide artificial nighttime lighting over a defined broad area, on buildings and monuments, on docks for safety, and to emphasize landscaping, but not directed to the detriment of the traveling public or surrounding residents in the light's path.

Dock lighting – Artificial illumination used to safely guide people and watercrafts within dock areas.

Landscape lighting – Artificial illumination used to accentuate trees, shrubs, paths, waterways, gates, barriers, and monuments/artwork by implementing up lighting, moon lighting, and vertical lighting.

Monument lighting – Artificial illumination directed on a man-made structure and artwork to call attention or to highlight.

Outdoor lighting fixture – A poled lighting fixture used outdoors.

Parcel – A tract or plot of land; a residential lot in a subdivision.

Picnic table – A picnic table is a permanent outdoor structure used by people to consume food.

Power pedestal – Sometimes referred to as a power station, it is used as a power supply and for lighting dock.

Private play structures – Private play structures are permanent structures used by children for play installed by private property owners.

Private utilities – Private utilities is system of underground cable lines, pipelines, and wiring installed by the leasing property owner to maintain and operate improvements in the Take Area and to support recreation and enjoyment.

Private walks – Private walks may be a single path or a network of paths installed by the leasing property owner in the Take Area.

Residential Area – Means the Leased Area where the Take Line is adjacent to residential property and where no commercial activity exists, or is proposed to exist, on City of Dallas property. If commercial activity occurs in a Residential Area, that portion of the Leased Area shall be considered a Commercial Area.

Setback – The distance from an established line where no improvements shall take place.

Non-grouped side yard setback – In Single Family Parcels with greater than seventy-five (≥ 75) linear feet of the normal pool elevation (435.5 feet mean sea level) shoreline, but less than one-hundred fifty (< 150) linear feet of the normal pool elevation shoreline, this is the side yard where grouped boat-related facilities would not exist.

Grouped side yard setback - In Single Family Parcels with greater than seventy-five (≥ 75) linear feet of the normal pool elevation (435.5 feet mean sea level) shoreline, but less than one-hundred fifty (< 150) linear feet of the normal pool elevation shoreline, this is the side yard where grouped boat-related facilities would exist.

Shoreline – Refers to the line along the shore of the Lake, established by the normal Lake pool elevation (435.5 feet mean sea level).

Side yard lease survey line – The boundary line between two leased area parcels defined by the lease area survey that projects from the side yard line down to the shoreline's lease area survey point and extending as an invisible straight line beyond the shoreline's lease area survey point into the lake.

Non-grouped side yard lease survey line – Side yard lease survey line where boat-related facilities are not paired together.

Grouped side yard lease survey line – Side yard lease survey line where boat-related facilities are paired together.

Single family parcel – Single family parcels that back up and adjoin the Take Line and are able to take advantage of the adjacent Take Area through the Residential Sublease Agreement.

Slip - A watercraft's berth between two piers.

Sprinkler systems – A sprinkler system is an underground irrigation network used to water and maintain trees, shrubs, grounds and the foundations of improvements.

Swing Lift - The swivel mounted lift securely attached to the edge of a dock or wall to lift a personal water craft in and out of the water.

Take Line – Means the perimeter boundary of Dallas' property at the Lake.

Take Area – Refers to the land owned by Dallas between the Take Line and the normal Lake pool elevation (435.5 feet mean sea level).

Treated wood – A method of chemically treating wood products by forcing chemicals into the fibers of the wood at extremely high pressure. Up until December 2003, chromated copper arsenate (CCA) was used to treat wood products. Starting in January 2004, alkaline copper quatarnary (ACQ) is now used to pressure treat wood products.

View corridor – A sight passage recognized as holding an intangible asset for a property owner and for a community due to the unique visual qualities of distant terrain, woodlands, wetlands, grasslands, skylines, manmade lakes, and boat-related uses expressed through a view preservation angle from either a generally recognized centerpoint or various centerpoints along a road corridor or public viewing area.

View clear zone – Area within the view preservation angle where no new structures or plantings shall exceed six (6) feet above the existing grade to maintain neighboring views.

View preservation angle - Determined as the centerpoint of the leasing property owner's backyard with a 36 degree total visual angle using the property owner's owned property centerline and extending outward towards the Lake.

Watercraft – A craft for water transport; a boat; jet ski.

Motorized boats – A boat propelled by an internal combustion engine.

Sailboat – A boat with a mast and sail propelled primarily by the wind.

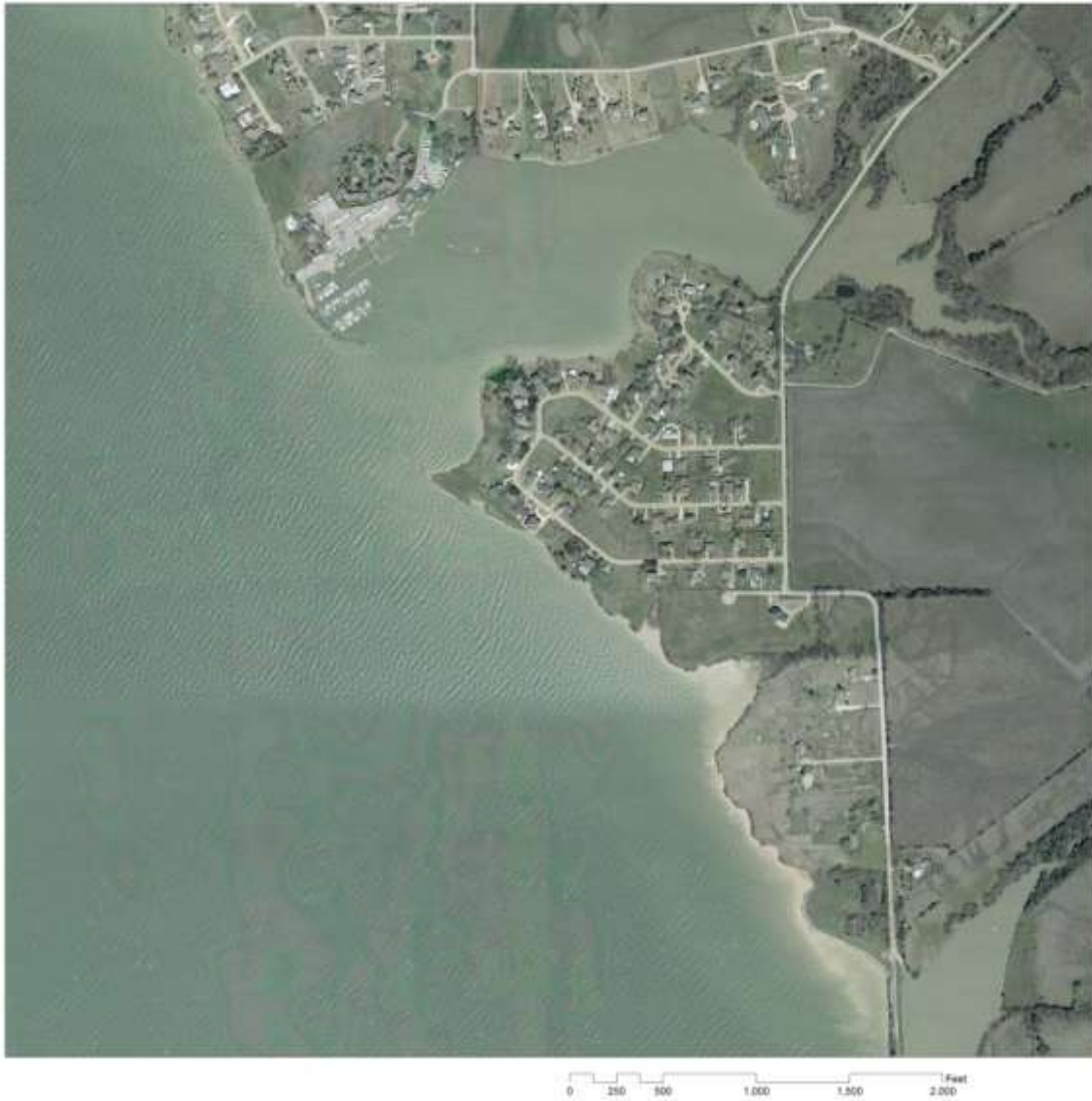
Water resistant wood – Wood products and finishes that repel or hinder the penetration of water. Naturally untreated hard wood such as cedar or redwood.

Summary Use Chart

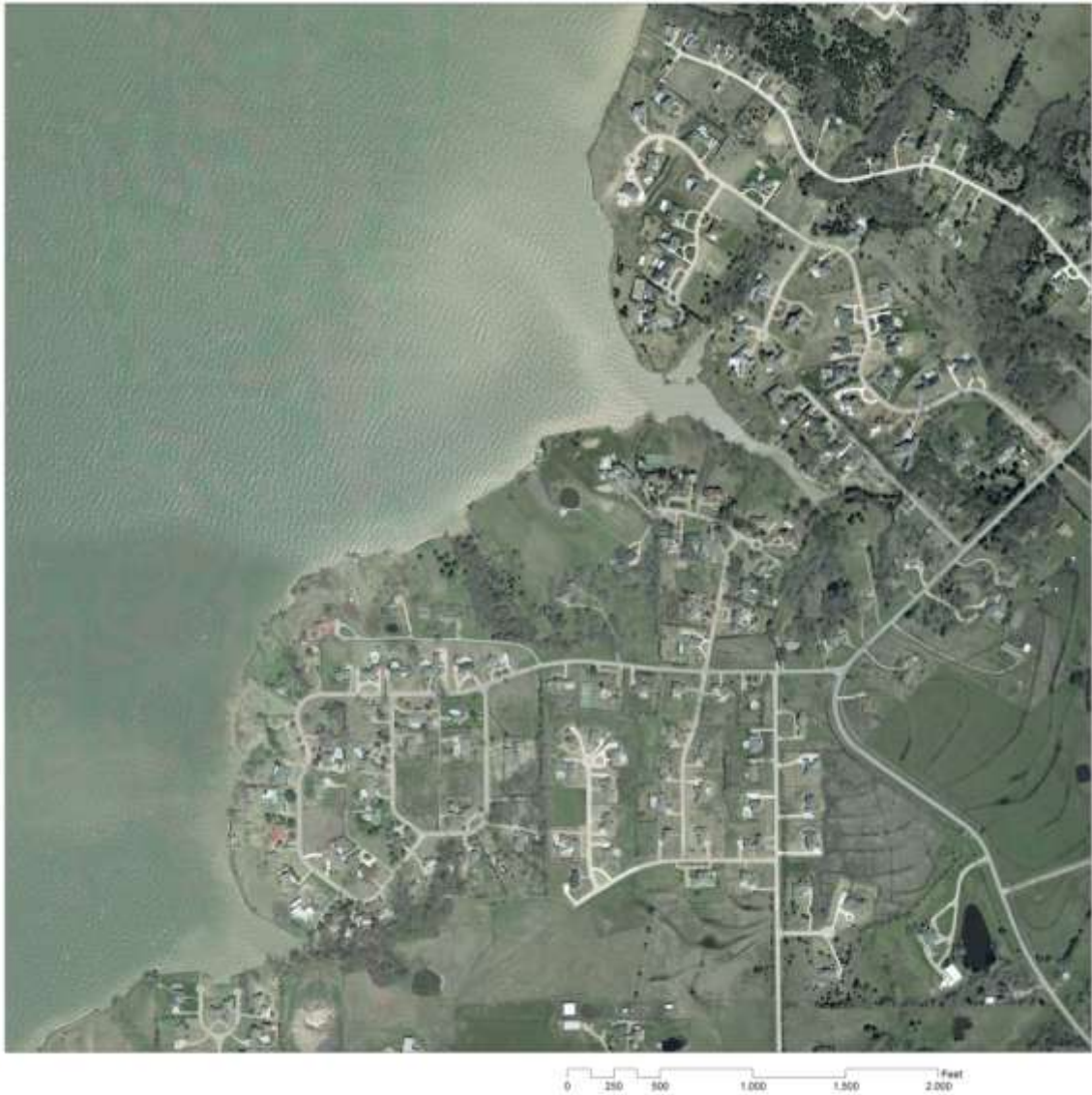
LEGEND	A	Allowed as a permitted use
	C	May be allowed with a Conditional Use Permit
	-	Prohibited

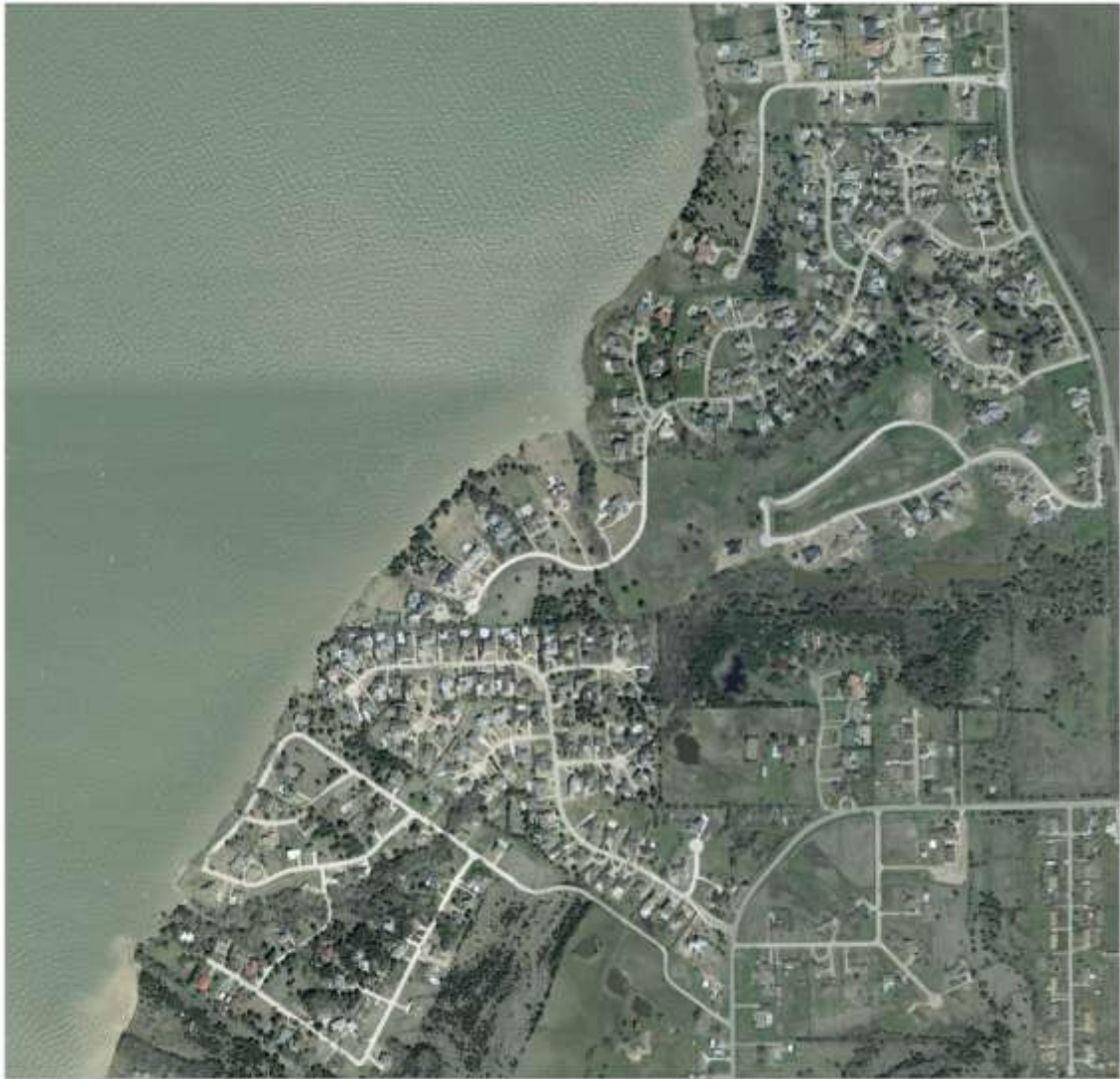
Use	Take Area – Residential	
	SF-P	Page(s)
TAKE AREA BOAT-RELATED USES		
Boat ramp	-	
Boathouse	A	7 – 14
Dock deck	A	15 – 18
Finger piers	-	
Fixed pier	A	19 – 22
Floating pier	-	
Lakeside gazebo	A	23 – 26
Marina	-	
Portable dock	-	
TAKE AREA SITE-RELATED USES		
All local utilities	A	27
Barbecue pit	C	28
Cabana	-	
Deck / patio	A	29
Fence	C	2
Flagpole	A	30
Greenhouse	-	
Hard surface sports courts	-	
Landscaping	A	31 – 32
Landside gazebo	A	33 - 34
Outdoor lighting	A	35 – 36
Picnic table	A	37
Private play structures	-	
Private utilities	A	38
Private walks	A	39
Satellite dish and antenna	-	
Sprinkler system	A	40
Swimming pool	-	
Tennis court	-	

District Maps

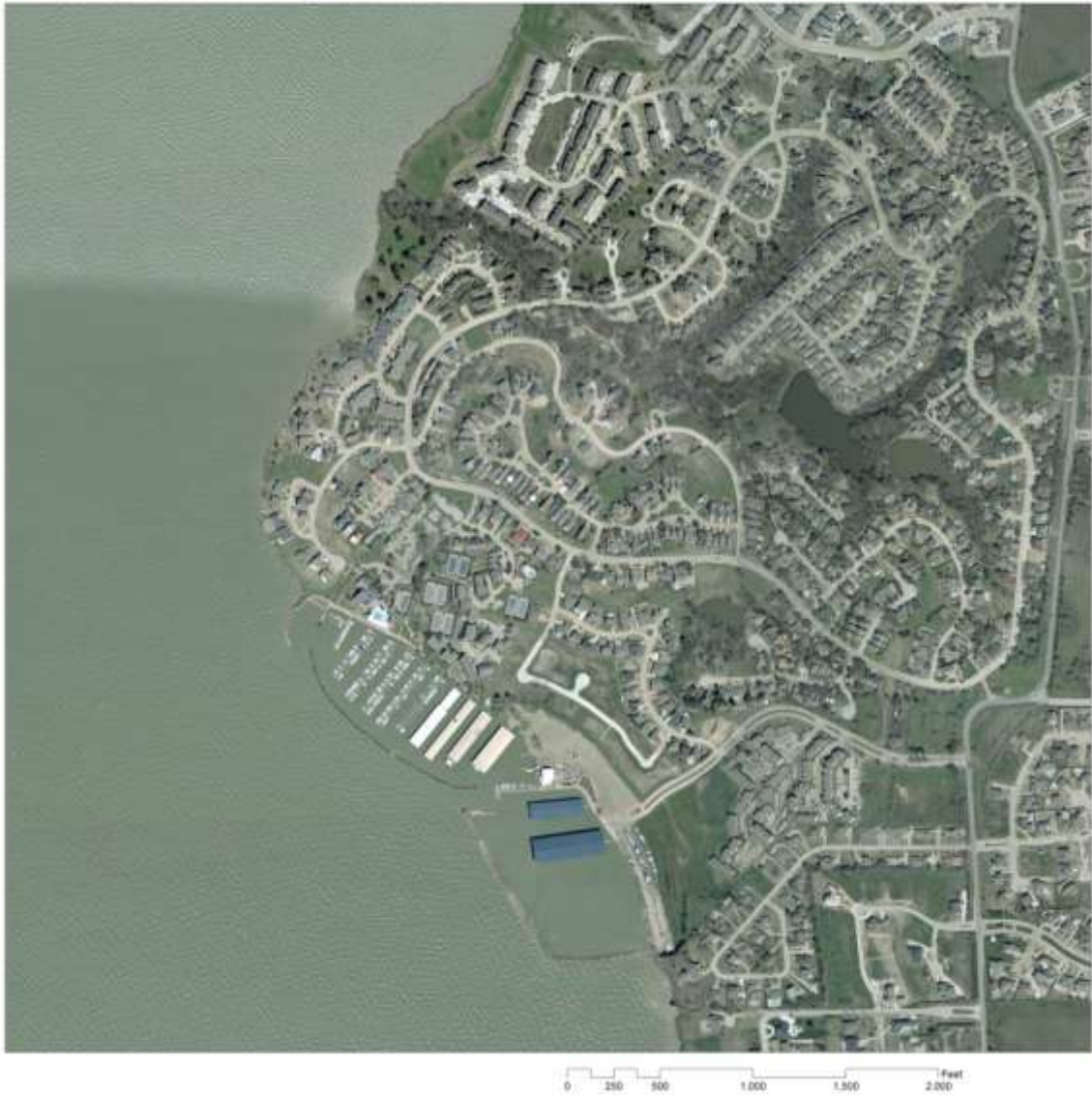








0 250 500 1,000 1,500 2,000 Feet



**SINGLE-FAMILY –
PARCEL (SF-P)**

SF-P

PURPOSE

This District is intended to allow those single-family parcels adjacent to the City of Dallas' Lake Ray Hubbard Take Line to take part of the City of Heath Residential Sublease Agreement by leasing their portion of the City of Dallas' Lake Ray Hubbard Take Area for expanded uses. This District is for residential uses only. This zone is designed to promote and encourage a suitable environment for expanded recreational activity, boat-related uses, and grounds uses on land leased in the Take Area and the lake waters not to exceed forty (40) feet of the normal pool elevation shoreline (435.5 feet mean sea level). The zone was developed to maintain water quality for public health, provide access for public safety, provide access for public and utility personnel and their vehicles, retain the aesthetic quality of the lake shore, deal with lake fluctuations, and protect views of the lake for lakeside residents, while allowing limited expanded uses. The irregular nature of the shoreline and the terrain of the Take Area lent itself to a case-by-case sensitivity to the site specific setbacks. Along with these physical land features, parcel sizes placed limitations and dictated the uses allowed and the site placement. This zone is to provide and maintain the high quality lifestyle and stable property values the citizens of Heath have come to enjoy. This zone is designed to comply with opportunities and limitations set forth in the Interlocal Agreement and Lease between the City of Heath and the City of Dallas. As is true of other zoning districts in this ordinance, the inclusion of this zoning district is consistent with recommendations made in the Heath Comprehensive Plan, as updated and adopted by the Heath City Council on October 19, 2006. In addition, the City of Dallas is required to review all development proposals prior to development approval.

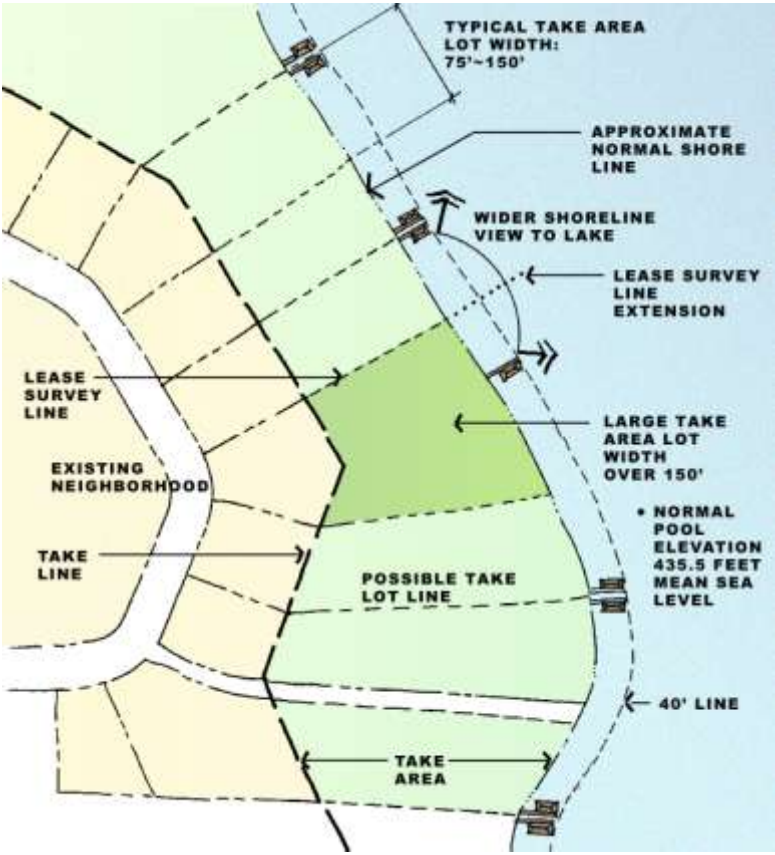
PERMITTED USES

Refer to Summary Use Chart.

DISTRICT AREA REGULATIONS

All buildings shall conform to the following regulations as detailed in Single-Family Parcel to Take Area.

SINGLE-FAMILY PARCEL TO TAKE AREA

ITEM	REGULATION
Visual Measurements and Overall Regulations	
<p>Visual measurements</p> <p>Neighborhood considerations</p>	<p>Setback considerations in the Take Area in a typical neighborhood site:</p> <ul style="list-style-type: none"> > Concern regarding water quality and materials to be used > Maintaining broad shoreline open areas to avoid a cluttered appearance > Restrictions spelled out in the Interlocal Agreement & Lease > Varying lot widths requiring different shoreline design and use procedures > Concern with access and public safety > Working with easement issues > Retaining existing view corridors > Being flexible with Lake fluctuations and shoreline changes > Working with terrain, gradient, and drainage issues > Limitations on the placement of improvements > Other aesthetic concerns  <p><i>Illustration 2.01a – Neighborhood considerations</i></p>

Visual
measurements

Elevation
contours and
Take Area uses

Elevation contours and the uses allowed within the Take Area

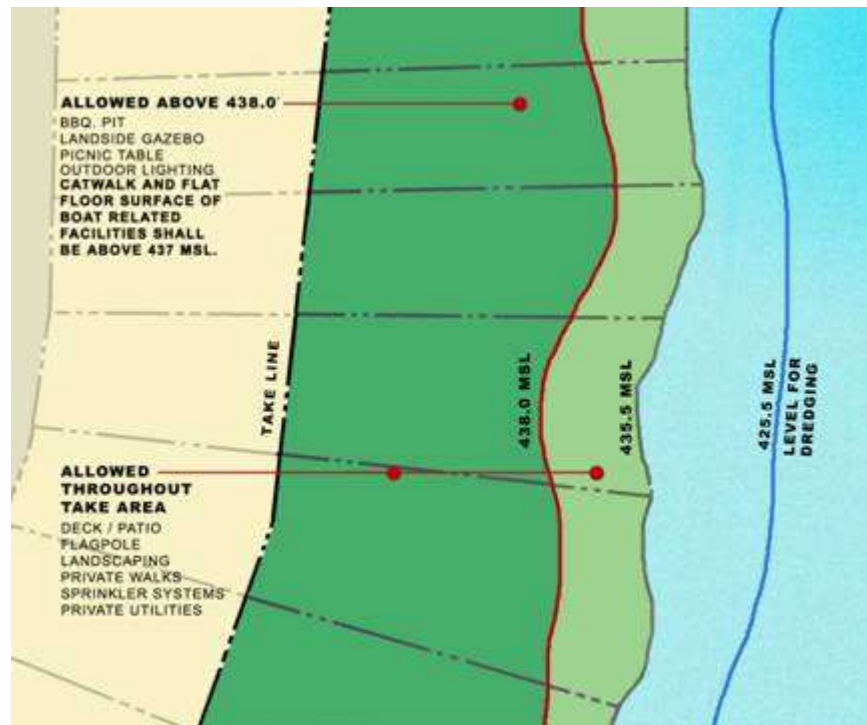


Illustration 2.01b – Elevation contours and Take Area uses

Visual measurements

View corridors

View clear zones are established to protect property owner's views of the Lake and maintain the aesthetic value of the lake's shoreline. The view clear zone is defined by the Landslide Improvement Angle. The Landslide Improvement Angle is determined as the quarter distance (25%) centerpoint from the normal pool elevation (435.5 feet mean sea level) shoreline along the centerline of the leasing property owner's side yard with the angle running from the quarter distance centerpoint to the opposite corners where the Take Line crosses the lease area's side yard. Those areas that fall outside of the Landslide Improvement Angle will be restricted from any type of new improvements or plantings exceeding six (6) feet in height with the exception of boat-related uses, which will be allowed.

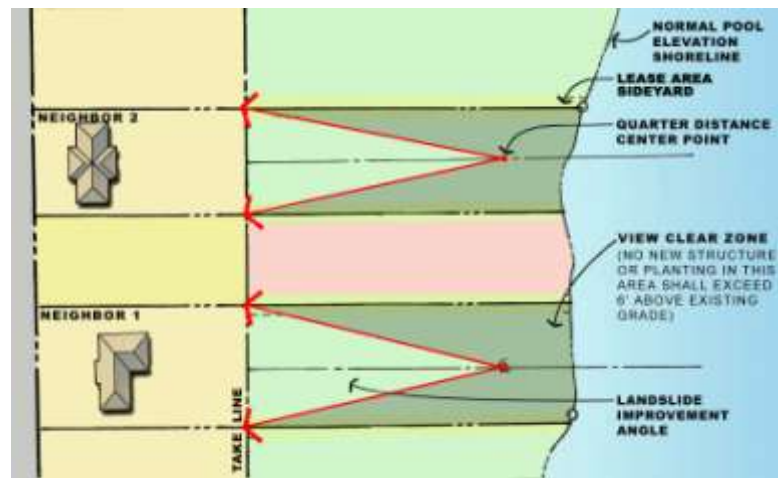


Illustration 2.01c – View corridors - Bird's-eye view

Legal provisions	<ul style="list-style-type: none"> ■ <i>This section should cover Heath's requirements for site plan requirements, non-conforming uses, permits and certificates, zoning cases, special exceptions, classification of new and unlisted uses, enforcement, changes and amendments, and zoning rules and regulations as stated in the Heath Zoning Ordinance</i> ■ The City of Heath shall enforce Sections 49-37, 49-54, and Chapter 32, Article VI, of the Dallas City Code as stated in the Interlocal Agreement & Lease as Exhibit D ■ No uses are grandfathered in the Take Area and over the Lake ■ For all parcels, any combination of boathouse and adjoining fixed pier and dock deck shall not exceed thirty (30) feet total width. ■ The City of Dallas is required to review all boat-related uses development proposals, dredging proposals, and seawall proposals prior to development approval with a permit ■ Proper authorization to dredge must be obtained from the City of Heath, City of Dallas, U.S. Army Corps of Engineers, and Texas Parks and Wildlife
Adjacent owned property	<ul style="list-style-type: none"> ■ Existing setbacks shall remain the same for the adjacent owned property of the household leasing the Take Area
Allowances and disallowances	<ul style="list-style-type: none"> ■ Setbacks including Take Line, side yard lease survey lines, and normal pool elevation setback - landside shall be considered in a case-by-case basis in matters of natural terrain, streams, protected trees, groves of trees, and historic sites ■ Movable grills and ranges shall be allowed to be brought out into the Take Area providing the movable grills and ranges are not allowed to remain in any part of the Take Area for more than seventy-two (72) hours consecutively ■ Loose ground material - such as sand, fill, or pea gravel - that could be used for trails, paths, play areas, active sports activities, or as exposed landscape bedding material is prohibited ■ Boat-related uses are limited to only one dock-type facility - a fixed pier – that may have either a boathouse, dock deck, or lakeside gazebo built at the lakeside end ■ Access into the leased Take Area for construction and dredging personnel and their vehicles shall be through the leasing resident's owned property ■ Access into the leased Take Area shall be allowed to City of Heath and City of Dallas personnel and their vehicles for periodic inspections of the Take Area and improvements ■ Access into the leased Take Area shall be allowed to emergency personnel and vehicles responding to an emergency

Allowances and disallowances (cont)	<ul style="list-style-type: none"> ■ Access into the leased Take Area shall be allowed to public and utility service and maintenance personnel and their vehicles performing work-related duties ■ Private utilities shall be built to handle load factors associated with emergency and service vehicles
Easement protection	<ul style="list-style-type: none"> ■ A blanket access easement shall exist for all City of Heath and City of Dallas personnel and their vehicles for periodic inspections of the Take Area and improvements and for emergencies ■ A blanket access easement shall exist for public and utility service and maintenance personnel and their vehicles for inspections and improvements ■ The surface area of existing and future underground utility easements right-of-way running through the Take Area shall be used as primary access right-of-way paths for private utilities, maintenance, inspection, and public safety personnel and their vehicles ■ Private utilities shall have to be developed in consideration of existing utility easement/right-of-way or identified future utility easement/right-of-way, and built to handle load factors associated with emergency and service vehicles ■ Private walks can encroach into an existing utility easement/right-of-way and identified future utility easement/right-of-way provided that the leasing property owner replace at their own expense the private walk should any construction or replacement work be required within the easement/right-of-way ■ Private walks shall be constructed to handle the load of heavy emergency and maintenance vehicles ■ A sprinkler system can encroach into an existing utility easement/right-of-way or into an identified future utility easement/right-of-way provided that the leasing property owner replace at their own expense the sprinkler system should any construction or replacement work be required within the easement/right-of-way
Heath City Codes	<ul style="list-style-type: none"> ■ Outdoor lighting ordinance (with the exception of heights and fixtures defined further in Lake Edge Zoning District ordinance) ■ Subdivision ordinance ■ Tree preservation ordinance
Residential Sublease Agreement	SF-P must comply with the terms set in the Residential Sublease Agreement
Take Area survey work	<ul style="list-style-type: none"> ■ SF-P must comply with the boundaries set in the Take Area survey work

Interlocal Agreement & Lease	SF-P District must comply with the guidelines set forth in the February 25, 2004, Interlocal Agreement & Lease signed between the City of Heath and the City of Dallas
City of Dallas	<ul style="list-style-type: none"> ■ The City of Heath shall enforce Sections 49-37, 49-54, and Chapter 32, Article VI, of the Dallas City Code as stated in the February 25, 2004, Interlocal Agreement & Lease as Exhibit D ■ The City of Dallas is required to review all development proposals prior to development approval ■ Applicant is required to fill out and submit for review and approval all applicable City of Dallas permits for Take Line and lake structures and abide by its requirements

Take Area Boat-Related Uses

Boathouse

Description	A boathouse is a roofed structure with a main waterside opening with an operating boatlift contained within the structure and the structure built to house and protect watercraft and boat related equipment and with the boathouse structure built at the end or towards the end of an adjoining dock
Allowances and disallowances	<ul style="list-style-type: none"> ■ A boathouse shall not be used for storing any other type of items except boat-related equipment ■ A boathouse shall not exceed one story ■ A deck ladder shall be allowed inside a boathouse ■ A boathouse may incorporate one storage unit measuring eight (8) feet in length x four (4) feet in width x three (3) feet in height placed on the outer dock-side to be used only for storing boat-related equipment, except fossil-fuels and hazardous materials ■ Parcels with seventy-five (≥ 75) linear feet or greater of the normal pool elevation shoreline (435.5 feet mean sea level) leased property shall be allowed one boathouse ■ A parcel with seventy-five (≥ 75) linear feet or greater of the normal pool elevation shoreline (435.5 feet mean sea level) leased property shall not allow for a boathouse and adjoining fixed pier to be combined with either an adjoining dock deck or a lakeside gazebo ■ For parcels with less than seventy-five (< 75) linear feet of the normal pool elevation shoreline (435.5 feet mean sea level) leased property, a boathouse will not be allowed ■ Boat engines with a fuel efficiency rating of 95% or less and/or not meeting the latest federal air emission standards shall be restricted from boathouses ■ A boathouse may have a hipped roof, gable roof, or hip and /or gable with a clerestory ■ A boathouse may have a clerestory built on the roof as an architectural accent ■ The pitch of a boathouse roof shall be built at a 2:1 ratio with all roof styles ■ The colors of roof shingles or roof systems that shall be allowed will match or closely relate to the primary residential building and its roof color ■ A boathouse roof shall be built with one of the following systems: clay tiles, standing metal seemed (architectural quality), slate shingles, concrete shingles, or ceramic shingles ■ A boathouse may be used for storing a sailboat ■ A boathouse roof shall not have an overhang greater than six (6) feet ■ A boathouse roof shall not be used as a deck ■ A boathouse shall incorporate a boat lift

Allowances and disallowances (cont)	<ul style="list-style-type: none"> ■ The six (6) foot boathouse overhang shall not extend past the forty (40) foot limit toward the lake. ■ A boathouse shall adjoin a fixed pier and is allowed with a dock deck with parcels one-hundred fifty (≥ 150) linear feet or greater of the normal pool elevation shoreline (435.5 feet mean sea level) ■ A boathouse shall not be allowed with a lakeside gazebo ■ View corridor restrictions do not apply to a boathouse ■ A boatlift built within a boathouse must be able to hoist a watercraft above 438.0 feet mean sea level
Building materials	<ul style="list-style-type: none"> ■ Materials to be used for boat-related facilities such as a boathouse should be referred to in the Materials Specifications of the City of Dallas' Construction Permit Application Lake Structures Lake Ray Hubbard ■ In any boathouse non-treated wood or synthetic material shall be used for the catwalks of boat-related facilities which attach to boathouses ■ All pilings shall be engineered and approved to handle pressure, stresses, and loads applicable at lakefront conditions and approved by a registered engineer ■ Boathouse pilings shall be completely rapped, creating columns, designed from masonry to match the architectural style of the primary residential structure. Masonry columns may be built up to the boathouse's roof overhang / eaves. Natural masonry products such as; cut limestone, rough limestone, brick, or river rock are acceptable ■ Masonry colors for the columns shall match or closely relate to the exterior color of the primary residential structure ■ Masonry cladding shall start two (2) feet eight (8) inches above the normal pool elevation (435.5 feet mean sea level). A concrete base, having a continuous plane with the masonry rapping above, shall be constructed directly below the masonry cladding ■ The City of Heath further requires non-treated wood or synthetic equivalent to be used for the roof surfaces of boat-related facilities such as a boathouse

Visual
measurements

Piling
elevation

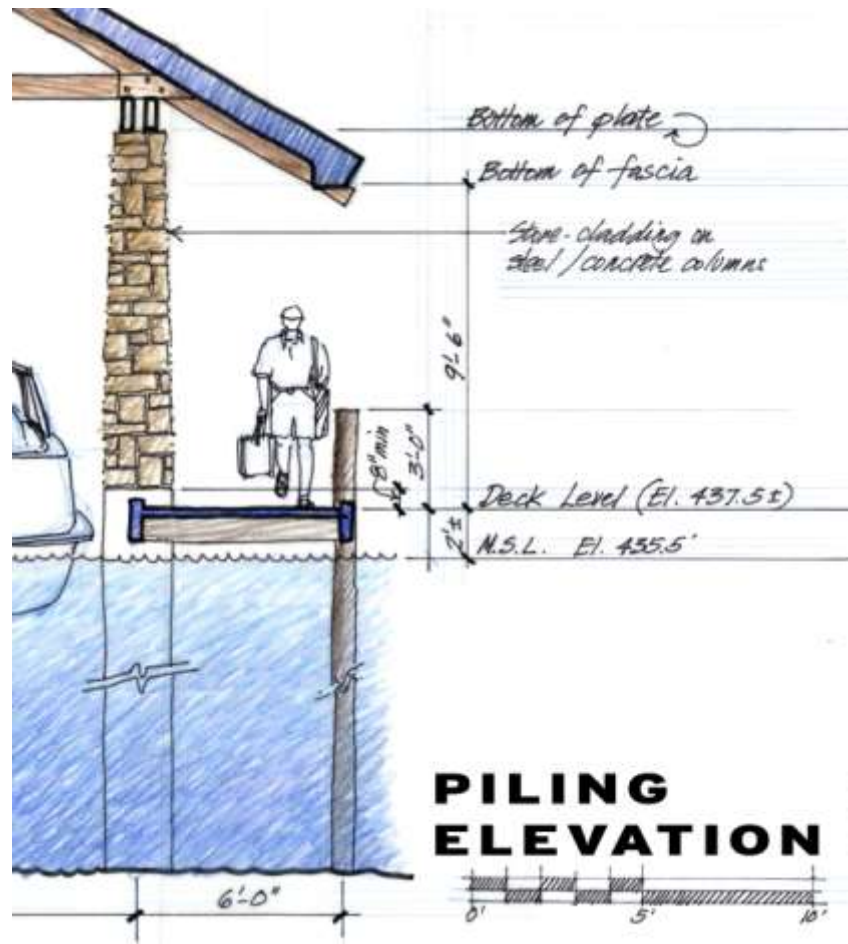
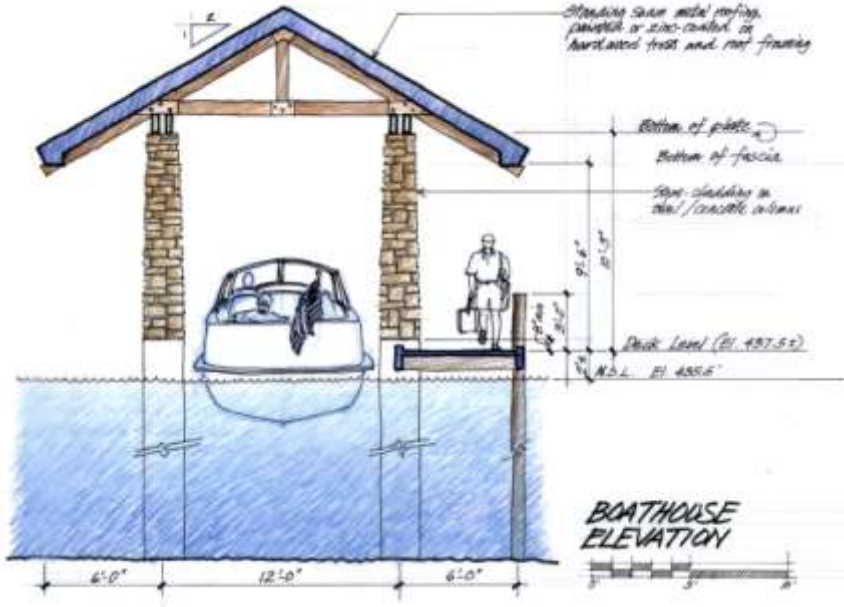
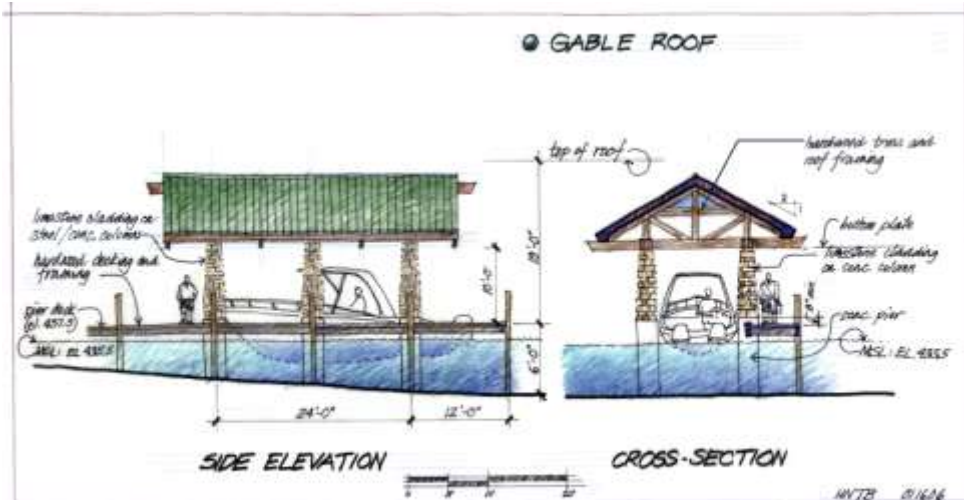
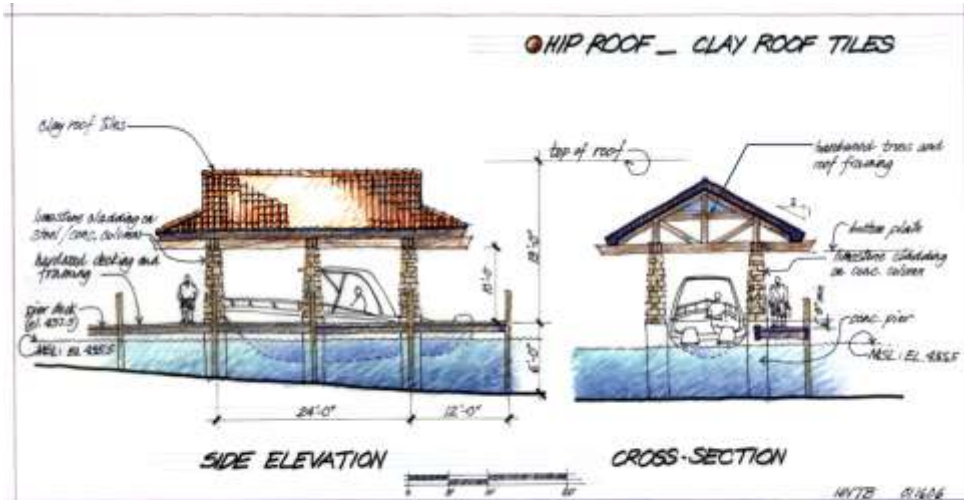


Illustration 2.02a – Boathouse – Visual measurements – Piling elevation

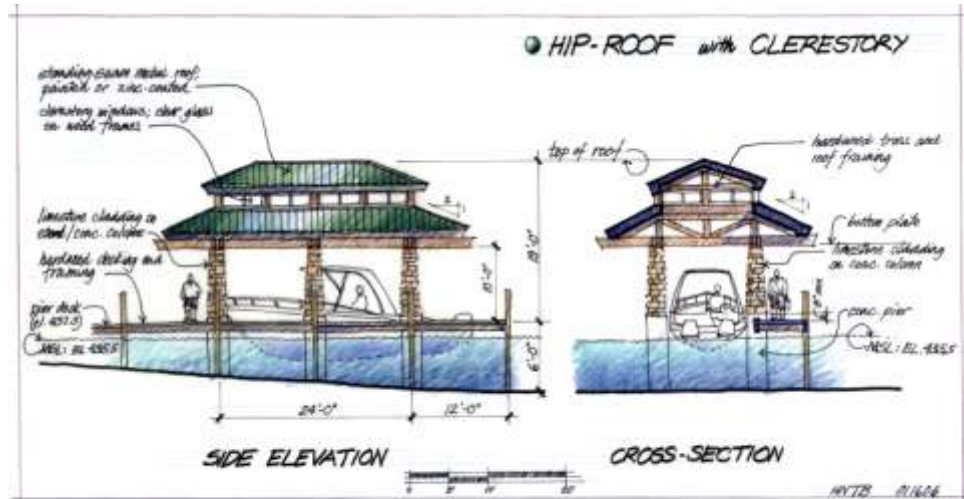
<p>Visual measurements</p> <p>Boathouse elevations</p>	<p>The following four images provide side elevations and cross sections of three different boathouse facilities</p>  <p><i>Illustration 2.02b – Boathouse – Visual measurements – Boathouse elevation</i></p>



HNTB HNTB Corporation
1000 17th Street, Suite 1000
San Francisco, CA 94103



HNTB HNTB Corporation
1000 17th Street, Suite 1000
San Francisco, CA 94103



HNTB HNTB Corporation
1000 17th Street, Suite 1000
San Francisco, CA 94103

Illustration 2.02b – Boathouse – Visual measurements – Boathouse elevations

Visual measurements

Boathouses adjoining fixed piers on two adjacent leased properties with a normal pool elevation shoreline 75 linear feet or greater but less than 150 linear feet

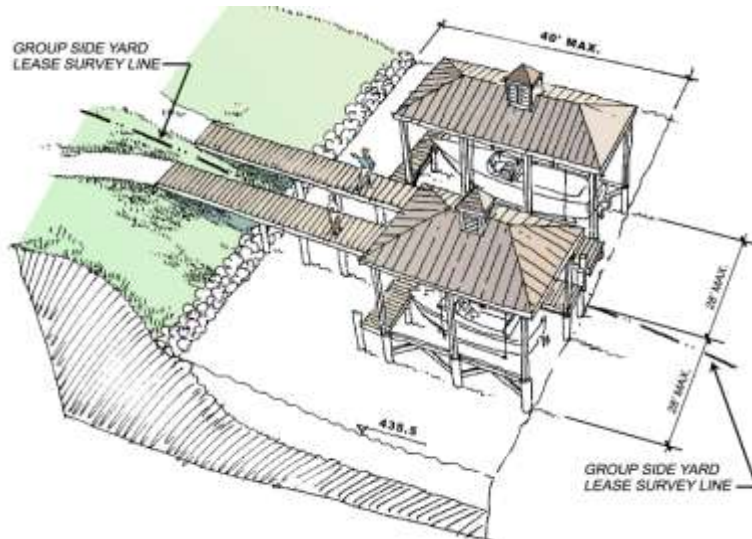


Illustration 2.02c – Boathouse – Grouped boathouses

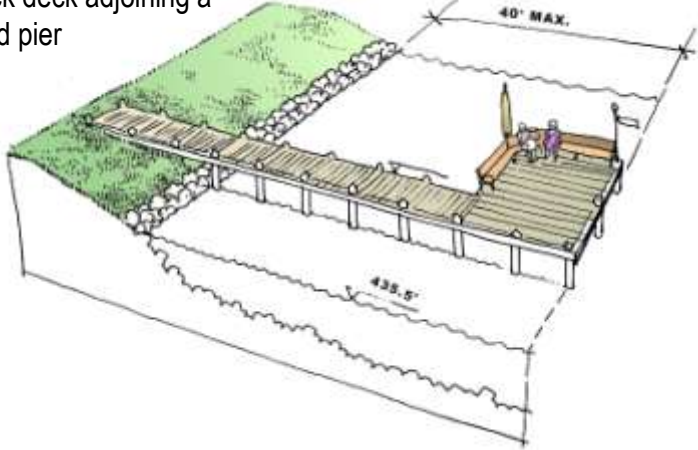
Height and depth regulations

- A boathouse's roof height shall be eighteen (18) feet maximum without a clerestory and up to twenty-one (21) feet maximum with the base measured from the top of the fixed pier's catwalk to the vertex of boathouse's main roof or clerestory roof
- The structurally approved pilings used to support a boathouse shall be built up to seventeen (17) inches above the normal pool elevation (435.5 feet mean sea level)
- The catwalk leading up to and surrounding a boathouse must be placed no more and no less than eighteen (18) inches above the normal pool elevation (435.5 feet mean sea level) over water
- Dredging of the shoreline is allowed for the berthing of a motorized boat into a boathouse provided that dredging does not exacerbate shoreline erosion, lake siltation, water quality degradation, wetlands instability, and the integrity of any built structure and the dredged channel is maintained for boating maneuverability to a depth of 425.0 feet mean sea level and a width area allowable for safe boating maneuverability
- Proper authorization to dredge must be obtained from the City of Heath, City of Dallas, U.S. Army Corps of Engineers, and Texas Parks and Wildlife
- Disposal of dredge material must be handled by a licensed entity, properly treated and disposed of at an offsite location or disposed onsite only as part of land reclamation working under City of Dallas guidelines and supervision

Take Line setback	<ul style="list-style-type: none"> ■ No setback requirements
Side yard setback	<ul style="list-style-type: none"> ■ For parcels with one-hundred fifty (≥ 150) linear feet or greater of the normal pool elevation shoreline (435.5 feet mean sea level) leased property, a boathouse inner side shall have a ten (10) foot setback from the lease survey line extension measured from the boathouse pilings ■ For parcels with one-hundred fifty (≥ 150) linear feet or greater of the normal pool elevation shoreline (435.5 feet mean sea level) leased property, any combination of boathouse and adjoining fixed pier and dock deck shall not exceed thirty (30) feet total width ■ For parcels with one-hundred fifty (≥ 150) linear feet or greater of the normal pool elevation shoreline (435.5 feet mean sea level) leased property, a boathouse shall be built into the main body of the Lake adjoining a fixed pier no less than seventy-five (75) feet from either side yard lease survey line extension. This establishes the point of beginning for locating the boat facilities. ■ For parcels with seventy-five (≥ 75) linear feet or greater but less than one-hundred fifty (< 150) linear feet of the normal pool elevation shoreline (435.5 feet mean sea level) leased property, a boathouse inner side shall have a sixteen (16) foot setback from the grouped side yard lease survey line extension measured from the boathouse pilings ■ For parcels with seventy-five (≥ 75) linear feet or greater but less than one-hundred fifty (< 150) linear feet of the normal pool elevation shoreline (435.5 feet mean sea level) leased property, a boathouse outer side shall not exceed twenty-eight (28) feet from the group side yard lease survey line extension measured from the boathouse pilings
Normal pool elevation setback – landside	<ul style="list-style-type: none"> ■ A boathouse shall not be allowed on land
Normal pool elevation setback - waterside	<ul style="list-style-type: none"> ■ For all residential parcels, a boathouse shall not extend more than forty (40) linear feet into the water from the normal pool elevation shoreline ■ The footprint of the exterior sides of a boathouse structure measured from the boathouse pilings shall measure eight (8) feet width x thirty (30) feet length minimum and shall measure twelve (12) feet width x thirty (30) feet length maximum ■ A boathouse shall not be designed to prevent public access to an area of water
Additional requirements	<ul style="list-style-type: none"> ■ A boathouse must be durable and meet or exceed the specific directives, material specifications, and structural specifications as defined by the City of Heath and in the City of Dallas' Construction Permit Application Lake Structures Lake Ray Hubbard

<p>Additional requirements (cont)</p>	<ul style="list-style-type: none"> ■ A boathouse must contain an operating boatlift built within the boathouse structure ■ Vertical rub rails are required on pilings ■ A boathouse shall be designed with safety reflectors so as to be clearly visible on three sides on the main waterside end of the boathouse. Safety reflectors are required on either side of the main waterside end and the two sides at a minimum increment of ten (10) feet starting at the boathouse's main waterside end and working back to the back of the boathouse. Safety reflectors shall be white, blue, or red and no less than three (3) inches diameter or square in size, kept clean, firmly attached to the structure, and maintained in good condition ■ The boathouse clerestory shall be designed to allow updraft air and winds to vent outward ■ A boathouse must comply with Heath City Codes ■ A boathouse built at the end of a fixed pier shall require the placement of the residence street address sign displayed outward towards the main body of the Lake and placed on the cornice of the structure in six-inch black letters on white background to be recognizable for waterside public safety and emergency personnel ■ Interior lighting for a boathouse shall be directed to the ceiling of the structure and the watercraft stored ■ Exterior lighting for a boathouse shall have a shield and be directed downwards towards the fixed pier with light fixtures incorporated either into the roof's overhang or the structure's columns ■ Interior and exterior lighting for a boathouse will not interfere with the safety of the traveling public
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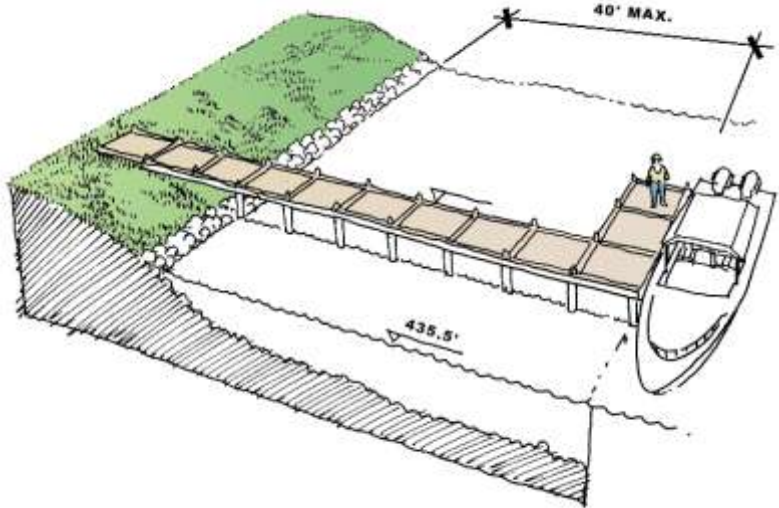
Dock deck	
Description	A dock deck is a flat floor surface area built over the Lake water adjoining the end of a fixed pier
Allowances and disallowances	<ul style="list-style-type: none"> ■ A dock deck may adjoin a lakeside gazebo ■ A dock deck shall be allowed with a boathouse provided the combined fixed pier, boathouse, and dock deck do not exceed thirty (30) feet in width ■ Watercraft are only allowed to moor at any portion of a dock deck for no greater than one-hundred fifty-six (156) consecutive hours during an entire week ■ Parcels with one-hundred fifty (≥ 150) linear feet or greater of the normal pool elevation shoreline (435.5 feet mean sea level) leased property shall be allowed one dock deck ■ Parcels with seventy-five (≥ 75) linear feet or greater but less than one-hundred fifty (< 150) linear feet of the normal pool elevation shoreline (435.5 feet mean sea level) leased property shall be allowed one dock deck placed only along the outer side from the grouped side yard lease survey line extension ■ A parcel with seventy-five (≥ 75) linear feet or greater of the normal pool elevation shoreline (435.5 feet mean sea level) leased property shall be allowed a dock deck with a fixed pier and/or lakeside gazebo <ul style="list-style-type: none"> ■ Parcels with less than seventy-five (< 75) linear feet of the normal pool elevation shoreline (435.5 feet mean sea level) leased property shall not be allowed a dock deck ■ Items that may be securely attached to the edge of a dock deck include the following: benches, dock deck shield lighting (embedded and poled), lockerbox, and power pedestal ■ View corridor restrictions do not apply to dock decks
Building materials	<ul style="list-style-type: none"> ■ Materials to be used for boat-related facilities such as a dock decks should be referred to in the Materials Specifications of the City of Dallas' Construction Permit Application Lake Structures Lake Ray Hubbard ■ The City of Heath requires non-treated wood or synthetic equivalent material to be used for the catwalk and deck of boat-related facilities such as a dock deck ■ The City of Heath further requires metal pilings, concrete pilings, or plastic PVC pilings to be used for the pilings of boat-related facilities such as a dock deck above 435.5 feet mean sea level and below the catwalk ■ All pilings shall be engineered and approved to handle pressure, stresses, and loads applicable at lakefront conditions ■ Any bench built on a dock deck shall be constructed using only water resistant wood, such as cedar or redwood, or synthetic equivalent

Building materials (cont)	<ul style="list-style-type: none"> ■ Any railing built on a dock deck shall have a water resistant wood, such as cedar or redwood, or synthetic equivalent picket with steel tubing railings
Visual measurements	<p>Dock deck adjoining a fixed pier</p>  <p><i>Illustration 2.02d – Dock deck</i></p>
Height and depth regulations	<ul style="list-style-type: none"> ■ The approved pilings used to support a dock deck shall be built up to seventeen (17) inches above the normal pool elevation (435.5 feet mean sea level) ■ The flat floor surface of a dock deck must be no more and no less than eighteen (18) inches above the normal pool elevation (435.5 feet mean sea level) ■ No pole structures incorporated into a dock deck shall be higher than eight (8) feet above the flat floor surface with no more than four (4) pole structures allowed
Take Line setback	<ul style="list-style-type: none"> ■ No setback requirements
Side yard setback	<ul style="list-style-type: none"> ■ For parcels with one-hundred fifty (≥ 150) linear feet or greater of the normal pool elevation shoreline (435.5 feet mean sea level) leased property, there shall be a ten (10) foot setback waterside from the lease survey line extension ■ For parcels with seventy-five (≥ 75) linear feet or greater but less than one-hundred fifty (< 150) linear feet of the normal pool elevation shoreline (435.5 feet mean sea level) leased property, there shall be a ten (10) foot setback from the grouped side yard lease survey line extension ■ For parcels with one-hundred fifty (≥ 150) linear feet or greater of the normal pool elevation shoreline (435.5 feet mean sea level) leased property, any combination of dock deck and adjoining fixed pier plus either a boathouse or a lakeside gazebo shall not exceed thirty (30) feet total width

Side yard setback (cont)	<ul style="list-style-type: none"> ■ For parcels with one-hundred fifty (≥ 150) linear feet or greater of the normal pool elevation shoreline (435.5 feet mean sea level) leased property, any combination of dock deck, fixed pier, and boathouse or dock deck, fixed pier and lakeside gazebo shall be no less than seventy-five (75) feet from either side yard lease survey line extension. This establishes the point of beginning for locating the boat facilities. ■ For parcels with seventy-five (≥ 75) linear feet or greater but less than one-hundred fifty (< 150) linear feet of the normal pool elevation shoreline (435.5 feet mean sea level) leased property, a combination of a dock deck and adjoining fixed pier or a dock deck, lakeside gazebo, and adjoining fixed pier shall not exceed twenty-eight (28) feet from the group side yard lease survey line extension
Normal pool elevation setback - waterside	<ul style="list-style-type: none"> ■ For all residential parcels, a dock deck shall not extend more than forty (40) linear feet into the water measured from the normal pool elevation (435.5 feet mean sea level) shoreline ■ A dock deck shall not be designed to prevent public access to an area of water ■ The footprint of the exterior sides of a dock deck adjoining a fixed pier shall measure eight (8) feet width x ten (10) feet length minimum and shall measure twelve (12) feet width x thirty (30) feet length maximum
Additional requirements	<ul style="list-style-type: none"> ■ Accessories placed on the flat floor surface of a dock deck must be placed in an orderly manner that allows for safe movement of people on the catwalk ■ A dock deck must be durable and meet or exceed the specific directives, material specifications, and structural specifications as defined by the City of Heath and in the City of Dallas' Construction Permit Application Lake Structures Lake Ray Hubbard ■ A dock deck shall be designed so as to be clearly visible during all seasons of the year and fluctuations in pool elevation ■ A dock deck shall be designed with safety reflectors so as to be clearly visible on the two exposed sides of the main waterside end of the dock deck. Safety reflectors are required on the two exposed sides of the main waterside end and shall be placed at a minimum increment of ten (10) feet starting at the fixed pier's main waterside end and working back to the shoreline. Safety reflectors shall be white, blue, or red and no less than three (3) inches in diameter or square in size, kept clean, firmly attached to the structure, and maintained in good condition ■ A dock deck built at the end of a fixed pier shall require the placement of the street block number and street name sign displayed outward towards the main body of the Lake and centered on the dock deck structure in six-inch black letters on white background to be recognizable for waterside public safety and emergency personnel

<p>Additional requirements (cont)</p>	<ul style="list-style-type: none"> ■ Safety lighting shall be placed onto the interior edges of the periphery of the flat floor surface of the dock deck at ten (10) foot increments with the shield cover housing the lighting source no higher than six (6) inches maximum ■ Two (2) light post structures may be placed along the periphery of the dock deck provided it has a shield which deflects light downward, is no higher than eight (8) feet maximum, does not hinder adjacent neighbors' lake area views, negatively impact surrounding residents with unwanted brightness or glare, or interfere with the safety of the traveling public ■ A dock deck must comply with Heath City Codes
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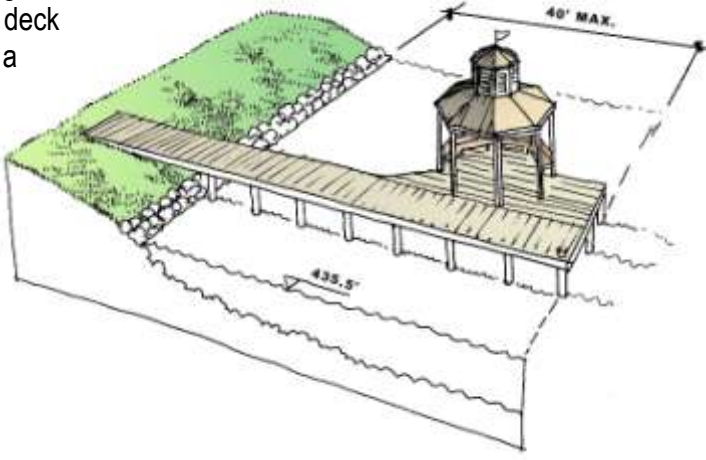
Fixed pier	
Description	A fixed pier is a structure with a catwalk on top that extends from the shoreline out into the body of water with the structure being used to moor and land watercraft
Allowances and disallowances	<ul style="list-style-type: none"> ■ A fixed pier may be designed to be 'T' shaped or 'L' shaped ■ A fixed pier may adjoin a boathouse ■ A fixed pier may adjoin a dock deck and boathouse or dock deck and lakeside gazebo ■ A fixed pier may adjoin a lakeside gazebo ■ Items that may be securely attached to the top edges of a catwalk of a fixed pier include the following: bench, cleats, dock ladder, shielded dock lighting, lockerbox, and power pedestal ■ Watercraft are only allowed to moor at any portion of a fixed pier for no greater than one-hundred fifty-six (156) consecutive hours during an entire week ■ Parcels with one-hundred fifty (≥ 150) linear feet or greater of the normal pool elevation shoreline (435.5 feet mean sea level) leased property shall be allowed one fixed pier ■ Parcels with seventy-five (≥ 75) linear feet or greater but less than one-hundred fifty (< 150) linear feet of the normal pool elevation shoreline (435.5 feet mean sea level) leased property shall be allowed one fixed pier placed only along the group side yard lease survey line extension ■ Parcels with less than seventy-five (< 75) linear feet of the normal pool elevation shoreline (435.5 feet mean sea level) leased property shall not be allowed a fixed pier ■ View corridor restrictions do not apply to fixed piers ■ With the exception of fixed piers associated with grouped boathouses, a fixed pier shall not be placed within sixty (60) feet of other docks ■ A gate made of water resistant wood or synthetic equivalent is permitted at the landside end of a fixed pier ■ Stairs with handrails made of water resistant wood or synthetic equivalent are allowed at the landside end of a fixed pier
Building materials	<ul style="list-style-type: none"> ■ Materials to be used for boat-related facilities such as a fixed pier should be referred to in the Materials Specifications of the City of Dallas' Construction Permit Application Lake Structures Lake Ray Hubbard ■ The City of Heath further requires non-treated wood or synthetic equivalent to be used for the catwalk of boat-related facilities such as a fixed pier ■ Any railing built on a fixed pier shall have a water resistant wood, such as cedar or redwood, picket with steel tubing railings

Building materials (cont)	<ul style="list-style-type: none"> ■ The City of Heath further requires metal pilings, concrete pilings, or plastic PVC pilings to be used for the pilings of boat-related facilities such as a fixed pier above 435.5 feet mean sea level and below the catwalk ■ All pilings shall be engineered and approved to handle pressure, stresses, and loads applicable at lakefront conditions ■ Any bench built on a fixed pier shall be constructed using only water resistant wood, such as cedar or redwood, or synthetic equivalent
Visual measurements	<p>Fixed pier</p>  <p><i>Illustration 2.02e – Fixed pier</i></p>
Height and depth regulations	<ul style="list-style-type: none"> ■ The approved pilings used to support a fixed pier shall be built up to seventeen (17) inches above the normal pool elevation (435.5 feet mean sea level) ■ The catwalk of a fixed pier must be no more and no less than eighteen (18) inches above the normal pool elevation (435.5 feet mean sea level) ■ No pole structures incorporated into a fixed pier shall be higher than eight (8) feet above the catwalk, with no more than two (2) pole structures ■ Dredging of the shoreline is allowed for the berthing of a motorized boat into a fixed pier provided that dredging does not exacerbate shoreline erosion, lake siltation, water quality degradation, wetlands instability, and the integrity of any built structure and the dredged channel is maintained for boating maneuverability to a depth of 425.0 feet mean sea level and a width allowable for safe boating maneuverability ■ Proper authorization to dredge must be obtained from the City of Heath, City of Dallas, U.S. Army Corps of Engineers, and Texas Parks and Wildlife ■ Disposal of dredge material must be handled by a license entity, properly treated and disposed of at an offsite location or disposed of onsite only as part of land reclamation under City of Dallas guidelines and supervision

Take Line setback	<ul style="list-style-type: none"> ■ No setback requirements
Side yard setback	<ul style="list-style-type: none"> ■ For parcels with one-hundred fifty (≥ 150) linear feet or greater of the normal pool elevation shoreline (435.5 feet mean sea level) leased property, there shall be a ten (10) foot setback from the lease survey line extension ■ For parcels with one-hundred fifty (≥ 150) linear feet or greater of the normal pool elevation shoreline (435.5 feet mean sea level) leased property, any combination of fixed pier and adjoining dock deck and boathouse or fixed pier and adjoining dock deck and lakeside gazebo shall be no less than seventy-five (75) feet from either side yard lease survey line extension. This establishes the point of beginning for locating the boat facilities. ■ For parcels with one-hundred fifty (≥ 150) linear feet or greater of the normal pool elevation shoreline (435.5 feet mean sea level) leased property, any combination of fixed pier and adjoining dock deck and boathouse or fixed pier and adjoining dock deck and lakeside gazebo shall not exceed thirty (30) feet width ■ For parcels with seventy-five (≥ 75) linear feet or greater but less than one-hundred fifty (< 150) linear feet of the normal pool elevation shoreline (435.5 feet mean sea level) leased property, there shall be a ten (10) foot setback from the grouped side yard lease survey line extension ■ For parcels with seventy-five (≥ 75) linear feet or greater but less than one-hundred fifty (< 150) linear feet of the normal pool elevation shoreline (435.5 feet mean sea level) leased property, any combination of fixed pier and adjoining boathouse, or fixed pier and adjoining dock deck and lakeside gazebo, the fixed pier shall not exceed sixteen (16) feet from the group side yard lease survey line extension ■ The catwalk of a fixed pier shall be a maximum of six (6) feet in width, as measured at a ninety degree angle to the main fixed pier's length, and shall not enclose any portion of the water to allow the free movement of water underneath
Normal pool elevation setback - landside	<ul style="list-style-type: none"> ■ A fixed pier shall be allowed within nine (9) feet of the normal pool elevation shoreline (435.5 feet mean sea level) on land ■ Stairs with handrails shall not be placed more than five (5) feet from the normal pool elevation shoreline (435.5 feet mean sea level) on land
Normal pool elevation setback – waterside	<ul style="list-style-type: none"> ■ For all residential, a fixed pier shall not extend more than forty (40) linear feet into the water measured from the normal pool elevation (435.5 feet mean sea level) shoreline ■ A fixed pier with a 'T' or 'L' shape is allowed provided the appendage fixed pier does not extend beyond twenty-one (21) feet from the main fixed pier's centerline

Normal pool elevation setback – waterside (cont)	<ul style="list-style-type: none"> ■ A fixed pier shall not be designed so as to prevent public access to any area of water ■ Stairs with handrails and fixed pier gate shall not be placed more than five (5) linear feet onto the fixed pier measured from the normal pool elevation (435.5 feet mean sea level) shoreline
Additional requirements	<ul style="list-style-type: none"> ■ A fixed pier must be durable and meet or exceed the specific directives, material specifications, and structural specifications as defined by the City of Heath and in the City of Dallas' Construction Permit Application Lake Structures Lake Ray Hubbard ■ Vertical rub rails are required on pilings ■ Accessories placed on the catwalk of a fixed pier must be placed in an orderly manner that allows for safe movement of people on the catwalk ■ A fixed pier shall be designed so as to be clearly visible during all seasons of the year and fluctuations in pool elevation ■ A fixed pier shall require the placement of the residence street address sign centered on the main waterside end of the fixed pier with six-inch black letters on white background to be recognizable for main waterside public safety and emergency personnel, unless a boathouse is built at the far end of the fixed pier in which case the residential street address sign must be place on the boathouse ■ A fixed pier shall be designed with safety reflectors so as to be clearly visible on three sides of the main waterside end of the fixed pier. Safety reflectors are required on either side of the main waterside end and along the two sides of the main spine of the fixed pier and along the outer sides of any type of appendage fixed pier at a minimum increment of ten (10) feet starting at the fixed pier's main waterside end and working back to the shoreline. Safety reflectors shall be white, blue, or red and no less than three (3) inches in diameter or square in size, kept clean, firmly attached to the structure, and maintained in good condition ■ Safety lighting shall be placed onto either side of the interior edges of the catwalk at ten (10) foot increments with the shield cover housing the lighting source no higher than six (6) inches maximum ■ Two (2) light post structure may be placed at the end of a fixed pier provided it is no higher than eight (8) feet maximum, does not hinder adjacent neighbors' lake area views, negatively impact surrounding residents with unwanted brightness or glare, or interfere with the safety of the traveling public ■ A fixed pier must comply with Heath City Codes

Lakeside gazebo	
Description	A lakeside gazebo is a roofed trellis structure opened on all sides with places for sitting with the structure supported by approved pilings
Allowances and disallowances	<ul style="list-style-type: none"> ■ Parcels with seventy-five (≥ 75) linear feet or greater of the normal pool elevation shoreline (435.5 feet mean sea level) leased property shall be allowed one lakeside gazebo ■ Parcels with less than seventy-five (< 75) linear feet of the normal pool elevation shoreline (435.5 feet mean sea level) leased property shall not be allowed a lakeside gazebo ■ A lakeside gazebo shall not exceed one story in height ■ A lakeside gazebo shall not be used to moor watercraft ■ A lakeside gazebo shall not be used to shelter watercraft or floating devices ■ A lakeside gazebo may be combined with a fixed pier and an adjoining dock deck ■ A lakeside gazebo shall not be combined with a fixed pier and an adjoining boathouse ■ View corridor restrictions do not apply to lakeside gazebos ■ A lakeside gazebo may have a hipped roof, gable roof, or hip and /or gable with a clerestory ■ A lakeside gazebo may have a clerestory built on the roof as an architectural accent ■ The pitch of a lakeside gazebo roof shall be built at a 2:1 ratio with all roof styles ■ A lakeside gazebo roof shall be built with one of the following systems: clay tiles, standing metal seemed (architectural quality), slate shingles, concrete shingles, or ceramic shingles ■ The colors of roof shingles or roof systems that shall be allowed will match or closely relate to the primary residential building and its roof color ■ A lakeside gazebo roof shall not have an overhang greater than six (6) feet ■ A lakeside gazebo roof shall not be used as a deck
Building materials	<ul style="list-style-type: none"> ■ Materials to be used for boat-related facilities such as a lakeside gazebo should be referred to in the Materials Specifications of the City of Dallas' Construction Permit Application Lake Structures Lake Ray Hubbard ■ A lakeside gazebo shall not contain any glass, plastic, or fiberglass siding ■ The City of Heath further requires non-treated wood or synthetic equivalent to be used for the roof surfaces of boat-related facilities such as a lakeside gazebo

<p>Building materials (cont)</p>	<ul style="list-style-type: none"> ■ The City of Heath further requires metal pilings, concrete pilings, or plastic PVC pilings to be used for the catwalk of boat-related facilities such as a lakeside gazebo ■ All pilings shall be engineered and approved to handle pressure, stresses, and loads applicable at lakefront conditions ■ Lakeside gazebo pilings shall be completely rapped, creating columns, designed from masonry to match the architectural style of the primary residential structure. Masonry columns may be built up to the lakeside gazebo's roof overhand / eaves. Natural masonry products such as; cut limestone, rough limestone, brick, or river rock are acceptable ■ Masonry colors for the columns shall match an exterior color of the primary residential structure ■ Masonry cladding shall start two (2) feet eight (8) inches above the normal pool elevation (435.5 feet mean sea level). A concrete base, having a continuous plane with the masonry rapping above, shall be constructed directly below the masonry cladding
<p>Visual measurements</p>	<p>Lakeside gazebo attached to a dock deck adjoining a fixed pier</p>  <p><i>Illustration 2.02f – Lakeside gazebo</i></p>
<p>Height and depth regulations</p>	<ul style="list-style-type: none"> ■ A lakeside gazebo's roof height shall be eighteen (18) feet maximum without a clerestory and up to twenty-one (21) feet maximum with the base measured from the top of the fixed pier's catwalk to the vertex of lakeside gazebo's main roof or clerestory roof ■ The approved pilings used to support a lakeside gazebo shall be built up to seventeen (17) inches above the normal pool elevation (435.5 feet mean sea level) ■ The flat floor surface of a lakeside gazebo must be no more and no less than eighteen (18) inches above the normal pool elevation (435.5 feet mean sea level) ■ The footprint of a lakeside gazebo shall be up to a maximum of one-hundred forty-four (144) square feet in size

Take Line setback	<ul style="list-style-type: none"> ■ No setback requirements
Side yard setback	<ul style="list-style-type: none"> ■ For parcels with one-hundred fifty (≥ 150) linear feet or greater of the normal pool elevation shoreline (435.5 feet mean sea level) leased property, there shall be a ten (10) foot setback waterside from the lease survey line extension ■ For parcels with one-hundred fifty (≥ 150) linear feet or greater of the normal pool elevation shoreline (435.5 feet mean sea level) leased property, any combination of lakeside gazebo and adjoining fixed pier and dock deck shall not exceed thirty (30) feet total width ■ For parcels with one-hundred fifty (≥ 150) linear feet or greater of the normal pool elevation shoreline (435.5 feet mean sea level) leased property, any combination of lakeside gazebo and adjoining fixed pier and dock deck shall be no less than seventy-five (75) feet from either side yard lease survey line extension. This establishes the point of beginning for locating the boat facilities. ■ For parcels with seventy-five (≥ 75) linear feet or greater but less than one-hundred fifty (< 150) linear feet of the normal pool elevation shoreline (435.5 feet mean sea level) leased property, a lakeside gazebo shall have a sixteen (16) foot setback from the grouped side yard lease survey line extension ■ For parcels with seventy-five (≥ 75) linear feet or greater but less than one-hundred fifty (< 150) linear feet of the normal pool elevation shoreline (435.5 feet mean sea level) leased property, any combination of lakeside gazebo and adjoining fixed pier or lakeside gazebo plus dock deck and adjoining fixed pier shall not exceed twenty-eight (28) feet from the group side yard lease survey line extension
Normal pool elevation setback - waterside	<ul style="list-style-type: none"> ■ For all residential parcels, a lakeside gazebo shall not extend more than forty (40) linear feet into the water normal pool elevation (435.5 feet mean sea level) shoreline ■ A lakeside gazebo shall not be designed to prevent public access to any area of water
Additional requirements	<ul style="list-style-type: none"> ■ The lakeside gazebo clerestory shall be designed to allow updraft air and winds to vent outward ■ A lakeside gazebo must be durable and meet or exceed the specific directives, material specifications, and structural specifications as defined by the City of Heath and in the City of Dallas' Construction Permit Application Lake Structures Lake Ray Hubbard ■ A lakeside gazebo built at the end of a fixed pier shall require the placement of the street block number and street name sign displayed outward towards the main body of the Lake and placed on the cornice of the structure in six-inch black letters on white background to be recognizable for waterside public safety and emergency personnel

<p>Additional requirements (cont)</p>	<ul style="list-style-type: none"> ■ A lakeside gazebo shall be designed with safety reflectors so as to be clearly visible on three sides of the main waterside end of the fixed pier. Safety reflectors are required on either side of the main waterside end and along the outside areas of the lakeside gazebo at a minimum increment of ten (10) feet. Safety reflectors shall be white, blue, or red and no less than three (3) inches in diameter or square in size, kept clean, firmly attached to the structure, and maintained in good condition ■ Interior lighting of a lakeside gazebo shall be directed above to the center of the ceiling of the structure and below to the floor ■ Interior lighting for a lakeside gazebo shall not hinder adjacent neighbors' lake area views, negatively impact surrounding residents with unwanted brightness or glare, and interfere with the safety of the traveling public ■ A lakeside gazebo must comply with Heath City Codes
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Take Area Site-Related Uses	
All local public utilities	
Description	All local utilities represent cable lines, pipelines, and wiring already existing and planned running through the Take Area used by both the local community and the region's communities to facilitate the distribution and collection of communications, water, electricity, natural gas, and waste byproducts
Allowances and disallowances	<ul style="list-style-type: none"> ■ All local public utilities infrastructure is allowed
Building materials	<ul style="list-style-type: none"> ■ All building materials must meet Heath's adopted building codes
Height and depth regulations	<ul style="list-style-type: none"> ■ All local public utilities shall be place underground
Take Line setback	<ul style="list-style-type: none"> ■ No setback requirements
Side yard setback	<ul style="list-style-type: none"> ■ No setback requirements
Normal pool elevation setback - landside	<ul style="list-style-type: none"> ■ No setback requirements
Normal pool elevation setback - waterside	<ul style="list-style-type: none"> ■ No setback requirements
Additional requirements	<ul style="list-style-type: none"> ■ All local public utilities must comply with Heath City Codes

Barbecue pit	
Description	A barbecue pit is a permanent fireplace structure over which meat and other foods are roasted
Allowances and disallowances	<ul style="list-style-type: none"> ■ A barbecue pit requires a Conditional Use Permit ■ A barbecue pit shall only be fueled by charcoal or wood products ■ A barbecue pit shall not be fueled by any gas products ■ A barbecue pit shall be a minimum of twelve (12) feet from a picnic table
Building materials	<ul style="list-style-type: none"> ■ A barbecue pit must be built using any combination of native stone, brick, concrete, and iron grating
Height and depth regulations	<ul style="list-style-type: none"> ■ A barbecue pit shall be no higher than eight (8) feet
Take Line setback	<ul style="list-style-type: none"> ■ No setback required
Side yard setback	<ul style="list-style-type: none"> ■ There shall be a six (6) foot setback landside from both side yard lease survey lines
Normal pool elevation setback - landside	<ul style="list-style-type: none"> ■ A barbecue pit shall not be allowed below 438.0 feet mean sea level ■ The footprint of the exterior sides of a barbecue pit ranges from a minimum size of three (3) feet length x three (3) feet width and the maximum size five (5) feet length x three (3) feet width ■ A barbecue pit shall be allowed only above 438.0 feet mean sea level, provided the barbecue pit does not block public safety personnel and their vehicles access for responding to emergencies, and provided the barbecue pit does not block public maintenance personnel and their vehicles access for clearing the shoreline
Normal pool elevation setback - waterside	<ul style="list-style-type: none"> ■ A barbecue pit shall not be allowed at, upon or over the Lake
Additional requirements	<ul style="list-style-type: none"> ■ A barbecue pit shall not hinder the clear view zone of an adjacent neighbors' view corridor ■ Earth work construction of a barbecue pit must comply with the erosion control standards set in the Interlocal Agreement and Lease ■ A barbecue pit must comply with Heath City Codes

Deck/patio	
Description	A deck/patio is an anchored or concrete paved flat floored roofless surface no greater than 400 square feet built either beside the normal pool elevation shoreline or incorporated into a promontory in the Take Area
Allowances and disallowances	<ul style="list-style-type: none"> ■ Stairs with handrails made of water resistant wood or synthetic equivalent shall be allowed with a deck/patio
Building materials	<ul style="list-style-type: none"> ■ A deck/patio must be built using water resistant wood or synthetic equivalent and/or native stone ■ Any railing built on a deck/patio shall have a water resistant wood, such as cedar or redwood, or synthetic equivalent picket with steel tubing railings
Height and depth regulations	<ul style="list-style-type: none"> ■ A deck/patio shall be limited to thirty-six (36) inches in height
Take Line setback	<ul style="list-style-type: none"> ■ No setback required
Side yard setback	<ul style="list-style-type: none"> ■ There shall be a six (6) foot setback landside from both side yard lease survey lines
Normal pool elevation setback - landside	<ul style="list-style-type: none"> ■ A deck/patio shall be allowed provided the structure is anchored into the ground using concrete posts and footings as a foundation appropriate for load and size of deck/patio ■ A deck/patio shall be allowed only above 438.0 feet mean sea level, provided a deck/patio does not block public safety personnel and their vehicles access for responding to emergencies, and provided a deck/patio does not block public maintenance personnel and their vehicles access for clearing the shoreline
Normal pool elevation setback - waterside	<ul style="list-style-type: none"> ■ A deck/patio shall be allowed beside the Lake, but not upon or over the Lake
Additional requirements	<ul style="list-style-type: none"> ■ A deck/patio shall not hinder the view clear zone of an adjacent neighbors' view corridor ■ Earth work construction of a deck/patio must comply with the erosion control standards set in the Interlocal Agreement and Lease ■ A deck/patio must comply with Heath City Codes

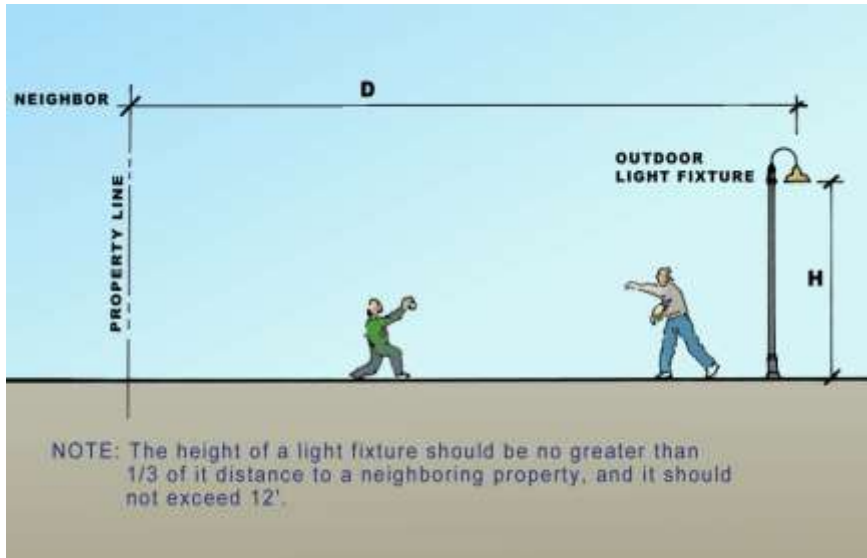
Flagpole	
Description	An upright (90 degree angle to the ground or dock) pole on which to raise a flag. Lighting of any flagpole is not allowed.
Allowances and disallowances	<ul style="list-style-type: none"> ■ Up to two ground set flagpoles shall be allowed on land ■ Only one flagpole shall be allowed on boat-related facilities ■ A flagpole installed on the side of a boathouse shall be vertical wall mount ■ The American flag and the Texas flag will be the only flags flown on Take Line property ■ Only two flags shall be allowed per flagpole with the lower flag being a size smaller than the flag above ■ The maximum flag size on a twenty- (20) foot high flagpole shall not exceed six (6) feet by four (4) feet
Building materials	<ul style="list-style-type: none"> ■ A flagpole must be built using either stainless steel or aluminum
Height and depth regulations	<ul style="list-style-type: none"> ■ A flagpole shall be no higher than twenty (20) feet as measured from the base of the ground upward ■ On boat-related facilities (the dock deck attached to a fixed pier or on the side of boathouse), a flagpole shall be no higher than twenty (20) feet as measured from the base of the dock deck or catwalk upward
Take Line setback	<ul style="list-style-type: none"> ■ No setback required
Side yard setback	<ul style="list-style-type: none"> ■ There shall be a six (6) foot setback landside from both side yard lease survey lines
Normal pool elevation setback - landside	<ul style="list-style-type: none"> ■ The ground base and dock deck base diameter of a flagpole ranges from a minimum size of five (5) inches to a maximum size of eight (8) inches
Normal pool elevation setback - waterside	<ul style="list-style-type: none"> ■ One flagpole shall be allowed on the dock deck attached to a fixed pier ■ One flagpole shall be allowed attached to the side of a boathouse
Additional requirements	<ul style="list-style-type: none"> ■ The size of a flag on a flagpole shall not hinder the clear view zone of an adjacent neighbors' view ■ Earth work construction of a flagpole must comply with the erosion control standards set in the Interlocal Agreement and Lease ■ A flagpole must comply with Heath City Codes

Landscaping	
Description	Landscaping is the minor modification or altering of the surrounding Take Area terrain and shoreline with trees, shrubs, ground cover, and native stone or interlocking brick retaining walls
Allowances and disallowances	<ul style="list-style-type: none"> ■ The use of native stone retaining walls is allowable above 435.5 feet mean sea level ■ Hedge rows and shrub rows are not allowed ■ Landscaping requiring the use of pesticides, herbicides, fungicides, or preservatives is not allowed ■ Landscaping that can lead to lake siltation and/or shoreline erosion is not allowed ■ Mulch is prohibited below 438.0 feet mean sea level elevation
Building materials	<ul style="list-style-type: none"> ■ Landscaping shall not allow the use of any railroad ties or treated wood ■ Landscaping shall not allow the use of brick, except for private walks ■ Landscaping shall not allow the use of crushed rock or pea gravel except for its use as a base ■ Landscaping shall allow the use of native stone for retaining walls and private walks
Height and depth regulations	<ul style="list-style-type: none"> ■ Retaining walls as part of landscaping shall be limited to three (3) feet in height
Take Line setback	<ul style="list-style-type: none"> ■ No setback required
Side yard setback	<ul style="list-style-type: none"> ■ No setback required
Normal pool elevation setback - landside	<ul style="list-style-type: none"> ■ Minor landscaping shall be allowed provided it does not further lake siltation, shoreline erosion, water quality, or retain water ■ Remedial landscaping for maintaining the integrity of the shoreline is allowed ■ Landscaping shall be allowed only above 438.0 feet mean sea level, provided the landscaping does not block public safety personnel and their vehicles access for responding to emergencies and provided the landscaping does not block public maintenance personnel and their vehicles access for clearing the shoreline
Normal pool elevation setback – waterside	<ul style="list-style-type: none"> ■ Remedial landscaping for maintaining the integrity of the shoreline is allowed

Additional requirements	<ul style="list-style-type: none"> ■ Landscaping must complement and be integrated into the existing woodlands and wetlands ■ Trees shall be intersperse ■ Earth work construction involved with landscaping must comply with the erosion control standards set in the Interlocal Agreement and Lease ■ Landscaping shall not hinder the clear view zone of an adjacent neighbors' view corridor ■ Landscaping must comply with Heath City Codes
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Landside Gazebo	
Description	A landside gazebo is a permanent stand-alone roofed trellis structure opened on all sides with places for sitting
Allowances and disallowances	<ul style="list-style-type: none"> ■ A landside gazebo shall not exceed one story ■ A landside gazebo may have a hipped roof, gable roof, or hip and /or gable with a clerestory ■ A landside gazebo may have a clerestory built on the roof as an architectural accent ■ The pitch of a landside gazebo roof shall be built at a 2:1 ratio with all roof styles ■ A landside gazebo roof shall be built with one of the following systems; clay tiles, standing metal seemed (architectural quality), slate shingles, concrete shingles, or ceramic shingles ■ The colors of roof shingles or roof systems that shall be allowed will match or closely relate to the primary residential building's roof color ■ A landside gazebo shall not have an overhang greater than eighteen (18) inches ■ A landside gazebo roof shall not be used as a deck ■ A landside gazebo shall not contain a balcony ■ The overhang of a landside gazebo's roof may match the roof of the Take Area leasing property owner's housing structure; otherwise, the landside gazebo's roof shall not have an overhang greater than one (1) foot six (6) inches
Building materials	<ul style="list-style-type: none"> ■ A landside gazebo shall be built using steel reinforced concrete piers ■ The side trellis of a landside gazebo shall be built using wood or synthetic equivalent ■ The roof of a landside gazebo may match the roof of the Take Area leasing property owner's housing structure; otherwise, the landside gazebo shall be built using a pre-finish standing seam galvanized roof ■ Masonry may be used as a base for a landside gazebo and masonry columns may be built up to the landside gazebo's roof overhang / eaves. Natural masonry products such as; cut limestone, rough limestone, brick, or river rock are acceptable ■ Masonry colors for the base and columns shall match an exterior color of the primary residential structure
Height and depth regulations	<ul style="list-style-type: none"> ■ A landside gazebo's roof height shall be eighteen (18) feet maximum without a clerestory and up to twenty-one (21) feet maximum with the base measured from the ground base to the vertex of landside gazebo's main roof or clerestory roof ■ The footprint of a landside gazebo shall be up to a maximum of one-hundred forty-four (144) square feet in size

Take Line setback	<ul style="list-style-type: none"> ■ No setback required
Side yard setback	<ul style="list-style-type: none"> ■ There shall be a six (6) foot setback landside from both side yard lease survey lines
Normal pool elevation setback - landside	<ul style="list-style-type: none"> ■ A landside gazebo shall not be allowed below 438.0 feet mean sea level ■ The exterior of a landside gazebo shall measure sixty-four (64) square feet minimum and one-hundred forty-four (144) square feet maximum ■ A landside gazebo shall be allowed only above 438.0 feet mean sea level, provided the landside gazebo does not block public safety personnel and their vehicles access for responding to emergencies and provided the landside gazebo does not block public maintenance personnel and their vehicles access for clearing the shoreline
Normal pool elevation setback - waterside	<ul style="list-style-type: none"> ■ A landside gazebo shall not be allowed at, upon or over the Lake (see Lakeside Gazebo)
Additional requirements	<ul style="list-style-type: none"> ■ The landside gazebo clerestory shall be designed to allow updraft air and winds to vent outward ■ A landside gazebo shall not hinder the clear view zone of an adjacent neighbors' view corridor ■ Earth work construction of a landside gazebo must comply with the erosion control standards set in the Interlocal Agreement and Lease ■ A landside gazebo must comply with Heath City Codes

Outdoor lighting	
Description	Outdoor lighting is a structure or a system of structures, fixtures, and devices used to provide artificial nighttime lighting over a defined broad area, on buildings and monuments, on docks for safety, and to emphasize landscaping, but not directed to the detriment of the traveling public or surrounding residents in the light's path
Allowances and disallowances	<ul style="list-style-type: none"> ■ Systems and structures associated with outdoor lighting including artificial landscape lighting, dock lighting, monument lighting, and flood lights ■ Cobra lighting fixtures are not allowed on poled structures ■ Fluorescent lighting fixtures are not allowed on poled structures ■ All lights are to have shields which deflect light downward ■ View corridor restrictions do not apply for boat-related uses with regards to outdoor lighting except as described for each boat-related use (boathouse, dock deck, fixed pier, and landside gazebo) due to brightness and glare to surrounding neighbors and the traveling public
Building materials	<ul style="list-style-type: none"> ■ Poles used for outdoor lighting must be either aluminum or steel ■ Wood or concrete poles used for outdoor lighting are not allowed
Visual measurements	<p>Standards for poled outdoor light fixture on leased Take Area grounds</p>  <p>NOTE: The height of a light fixture should be no greater than 1/3 of its distance to a neighboring property, and it should not exceed 12'.</p> <p><i>Illustration 2.03a – Outdoor lighting – Poled outdoor lighting</i></p>
Height and depth regulations	<ul style="list-style-type: none"> ■ The height of outdoor lighting shall range from light fixtures embedded into a catwalk periphery to twelve (12) feet maximum for post structures on land for broader illumination

Take Line setback	<ul style="list-style-type: none"> ■ No setback required
Side yard setback	<ul style="list-style-type: none"> ■ There shall be a six (6) foot setback landside from both side yard lease survey lines
Normal pool elevation setback - landside	<ul style="list-style-type: none"> ■ Outdoor lighting shall not be allowed below 438.0 feet mean sea level except for catwalk lighting ■ Poled outdoor lighting fixtures shall be allowed only above 438.0 feet mean sea level, provided the outdoor lighting fixture(s) does not block public safety personnel and their vehicles access for responding to emergencies and provided the outdoor lighting fixture(s) does not block public maintenance personnel and their vehicles access for clearing the shoreline
Normal pool elevation setback - waterside	No setback required
Additional requirements	<ul style="list-style-type: none"> ■ Outdoor lighting fixtures shall not hinder the view clear zone of an adjacent neighbors' view corridor ■ Unwanted brightness and glare from outdoor lighting shall not hinder the views of surrounding property owners ■ Outdoor lighting at, upon or over the Lake shall be limited to dock lighting used in fixed piers, boathouses, and dock decks for safely guiding people and watercraft within the dock areas; as part of a power pedestal; to illuminate small areas of the fixed pier and dock deck; and to illuminate the exterior and interior of the boathouse or the landside gazebo ■ Outdoor lighting shall not interfere with the safety of the traveling public with unwanted brightness and glare ■ The candlepower used on outdoor lighting shall comply with Heath's Outdoor Lighting ordinance ■ Earth work construction involved with outdoor lighting must comply with the erosion control standards set in the Interlocal Agreement and Lease ■ Outdoor lighting must comply with Heath City Codes

Picnic table	
Description	A picnic table is a permanent outdoor structure used by people to consume food
Allowances and disallowances	<ul style="list-style-type: none"> ■ A picnic table shall be a minimum of twelve (12) feet from a barbecue pit ■ A picnic table shall be open-air with no roof covering
Building materials	<ul style="list-style-type: none"> ■ Surface area for a permanent picnic table shall be concrete, oven-fired brick, and/or native stone
Height and depth regulations	<ul style="list-style-type: none"> ■ Top of table no higher than thirty-six (36) inches maximum
Take Line setback	<ul style="list-style-type: none"> ■ No setback required
Side yard setback	<ul style="list-style-type: none"> ■ There shall be a six (6) foot setback landside from both side yard lease survey lines
Normal pool elevation setback - landside	<ul style="list-style-type: none"> ■ A picnic table shall measure ten (10) feet x eight (8) feet maximum, including bench areas ■ A picnic table shall be allowed only above 438.0 feet mean sea level ■ A picnic table shall be allowed within twenty (20) feet of the normal pool elevation shoreline (435.5 feet mean sea level), provided the picnic table does not block public safety personnel and their vehicles access for responding to emergencies and provided the picnic table does not block public maintenance personnel and their vehicles access for clearing the shoreline
Normal pool elevation setback - waterside	<ul style="list-style-type: none"> ■ No picnic tables shall be allowed at, upon or over the Lake
Additional requirements	<ul style="list-style-type: none"> ■ A picnic table shall be built on level terrain ■ A picnic table shall not hinder the view clear zone of an adjacent neighbors' view corridor ■ Earth work for the construction of a picnic table must comply with the erosion control standards set in the Interlocal Agreement and Lease ■ A picnic table must comply with Heath City Codes

Private utilities	
Description	Private utilities are a system of underground cable lines, pipelines, and wiring installed by the leasing property owner to maintain and operate improvements in the Take Area
Allowances and disallowances	<ul style="list-style-type: none"> ■ Buried private utilities are required ■ No overhead private utilities lines are allowed
Building materials	<ul style="list-style-type: none"> ■ All building materials must meet Heath's Subdivision adopted building codes
Height and depth regulations	<ul style="list-style-type: none"> ■ All private utilities shall be buried according to standards set in Heath's Subdivision ordinance
Take Line setback	<ul style="list-style-type: none"> ■ No setback required
Side yard setback	<ul style="list-style-type: none"> ■ No side yard setback required
Normal pool elevation setback - landside	<ul style="list-style-type: none"> ■ Private utilities shall be allowed within twenty (20) feet of the normal pool elevation shoreline (435.5 feet mean sea level), provided the utilities are built to handle load factors associated with emergency and service vehicles ■ Private utilities containing electricity and communication lines built into boat-related uses shall not be allowed below 436.5 feet mean sea level ■ Private utilities containing natural gas, propane, gasoline, oil, diesel, or similar types of compounds shall not be allowed ■ Private utilities containing wastewater or any type of septic lines shall be not allowed
Normal pool elevation setback - waterside	<ul style="list-style-type: none"> ■ Private utilities containing electricity and communication lines and built into boat-related uses for dock lighting and tying into connections with power pedestals shall be allowed over the Lake, but shall not be allowed below 436.5 feet mean sea level ■ No private utilities containing natural gas, propane, gasoline, oil, diesel, or similar types of compounds shall be allowed at, upon or over the Lake ■ No private utilities containing wastewater or any type of septic lines shall be allowed at, upon or over the Lake
Additional requirements	<ul style="list-style-type: none"> ■ Earth work for the construction of a private utilities must comply with the erosion control standards set in the Interlocal Agreement and Lease ■ Private utilities must comply with Heath City Codes and electrical code for water and marina requirements

Private walks	
Description	Private walks may be a single path or a network of paths installed by the leasing property owner in the Take Area no greater than forty-eight (48) inches in width
Allowances and disallowances	<ul style="list-style-type: none"> ■ Private walks are allowed ■ Steps are allowed with private walks ■ Walks adjacent to the shoreline are prohibited without approved erosion control protection wall
Building materials	<ul style="list-style-type: none"> ■ Private walks shall be built using reinforced concrete, native stone, brick, and/or four (4) inch x eight (8) inch rectangular concrete pavers ■ Private walks shall not consist of loose stone, gravel, sand, or asphalt
Height and depth regulations	<ul style="list-style-type: none"> ■ Private walks either must be flushed with the level surrounding terrain or work within the gradient present in the surrounding terrain
Take Line setback	<ul style="list-style-type: none"> ■ No setback required
Side yard setback	<ul style="list-style-type: none"> ■ No setback required
Normal pool elevation setback - landside	<ul style="list-style-type: none"> ■ A private walk shall be allowed along the top of the shoreline erosion control protection wall as specified in the Erosion Control Permit.
Normal pool elevation setback - waterside	<ul style="list-style-type: none"> ■ No private walk shall be allowed going into the Lake
Additional requirements	<ul style="list-style-type: none"> ■ Earth work construction involved with private walks must comply with the erosion control standards set in the Interlocal Agreement and Lease ■ Private walks must comply with Heath City Codes

Sprinkler system	
Description	A sprinkler system is an underground irrigation network used to water and maintain trees, shrubs, grounds and the foundations of improvements
Allowances and disallowances	<ul style="list-style-type: none"> ■ A sprinkler system is allowed
Building materials	<ul style="list-style-type: none"> ■ Sprinkler systems shall be built using Schedule 40 PVC pipe ■ Sprinkler systems shall not be built using metal pipe
Height and depth regulations	<ul style="list-style-type: none"> ■ Sprinkler systems used for shrubs shall be no higher than six (6) feet in height from the average base of the surrounding terrain (within a three (3) foot radius)
Take Line setback	<ul style="list-style-type: none"> ■ No setback required
Side yard setback	<ul style="list-style-type: none"> ■ A sprinkler system may be placed up to both side yard lease survey lines
Normal pool elevation setback - landside	<ul style="list-style-type: none"> ■ A sprinkler system shall be allowed up to within one (1) foot of the normal pool elevation shoreline (435.5 feet mean sea level) provided any part of the system does not result in lake siltation or shoreline erosion
Normal pool elevation setback - waterside	<ul style="list-style-type: none"> ■ No sprinkler system shall be allowed at, upon or over the Lake
Additional requirements	<ul style="list-style-type: none"> ■ Any damage or destruction to any part of a sprinkler system by public safety, utility, maintenance, or inspection personnel and their vehicles shall be the responsibility of the leasing property owner ■ Earth work for the construction of a sprinkler system must comply with the erosion control standards set in the Interlocal Agreement and Lease ■ A sprinkler system must comply with Heath City Codes ■ Any new sprinkler system must be connected to the residence's existing potable water supply source with approved backflow prevention devices

